



PLANNING COMMISSION A G E N D A

March 21, 2024

Notice is hereby given of a Public Meeting to be held before the City of Wheat Ridge Planning Commission on March 21, 2024 at 6:30 p.m.

This meeting will be conducted as a virtual meeting and in person at 7500 W. 29th Avenue, Municipal Building. The public may participate in these ways:

1. Provide comment in advance at www.wheatridgespeaks.org (comment by noon on March 20)
2. Virtually attend and participate in the meeting through a device or phone:
 - [Click here to join and provide public comment](#) (create a Zoom account to join)
 - Or call 1-669-900-6833 with Meeting ID 892 3715 1354 **and Passcode: 206517**
3. View the meeting live or later at www.wheatridgespeaks.org, Channel 8, or YouTube Live at <https://www.ci.wheatridge.co.us/view>
4. Attend in person.

1. CALL THE MEETING TO ORDER

2. ROLL CALL OF MEMBERS

3. PLEDGE OF ALLEGIANCE

4. APPROVE THE ORDER OF THE AGENDA

5. APPROVAL OF MINUTES – February 15, 2024

6. PUBLIC FORUM (This is the time for any person to speak on any subject not appearing on the agenda. Public comments may be limited to 3 minutes.)

(continued on next page)

7. PUBLIC HEARING *

- A. **Case No. WZ-23-04:** Request for approval of a Master Sign Plan for the hospital campus at Clear Creek Crossing.
- B. **Case No. ZOA-24-03:** An ordinance amending Section 26-109 regarding public hearing notice.

8. OLD BUSINESS

9. NEW BUSINESS

- A. Welcome New Commissioners
- B. Upcoming Dates
- C. Project and Development Updates
- D. Commissioner Updates

10. ADJOURNMENT

* Public comment is welcome during any public hearing item. The standard procedure for a public hearing is as follows:

- a. Staff presentation
- b. Applicant presentation – if applicable
- c. Public comment – time may be limited at the discretion of the Chair, often to 3 minutes
- d. Staff/applicant response
- e. Close public hearing
- f. Commission discussion and decision

Individuals with disabilities are encouraged to participate in all public meetings sponsored by the City of Wheat Ridge. Call Amanda Harrison, Public Information Officer at 303-235-2877 at least one week in advance of a meeting if you are interested in participating and need inclusion assistance.



PLANNING COMMISSION

Minutes of Meeting

February 15, 2024

1. CALL THE MEETING TO ORDER

The meeting was called to order by Chair DITULLIO at 6:31 p.m. This meeting was held in person and virtually, using Zoom video-teleconferencing technology.

2. ROLL CALL OF MEMBERS

Commission Members Present: Kristine Disney
Jerry DiTullio
Daniel Graeve
Will Kerns
Michael Moore
Patrick Quinn
Jonathan Schelke (arrived at 6:39)

Commission Members Absent: Janet Leo

Staff Members Present: Jana Easley, Planning Manager
Steve Art, Renewal Wheat Ridge Executive Director
Tammy Odean, Recording Secretary

3. PLEDGE OF ALLEGIANCE

4. APPROVE ORDER OF THE AGENDA

It was moved by consensus to approve the order of the agenda.

5. APPROVAL OF MINUTES – January 18, 2024

It was moved by Commissioner QUINN and seconded by Commissioner KERNS to approve the minutes of January 18, 2024, as written. Motion carried 4-0-2 with Commissioners DISNEY and MOORE abstaining.

6. PUBLIC FORUM (This is the time for any person to speak on any subject not appearing on the agenda.)

No one wished to speak at this time.

7. PUBLIC HEARING

No cases to be heard.

8. OLD BUSINESS

9. NEW BUSINESS

- A. Resolution 1-2024 Carr Street Urban Renewal Plan
- B. Resolution 2-2024 Lutheran Legacy Urban Renewal Plan

Mr. Art gave a presentation about the Carr Street Urban Renewal Plan and the Lutheran Legacy Urban Renewal Plan and explained how they conform with the Wheat Ridge Comprehensive Plan, Envision Wheat Ridge.

Public Comment

No one wished to speak at this time.

Commissioner GRAEVE asked for more information regarding the floodplain designation and if redevelopment would change anything.

Mr. Art mentioned that if Clear Creek were to have a 100- or 500-year flood it would impact a lot of residences and businesses in the Carr Street area. He added that this plan would allow the City to raise up the areas around the Creek so it will not flood which will allow businesses and homeowners to get less expensive insurance.

Commissioner GRAEVE also asked about the preservation of historic structures in the Lutheran Legacy area and if there is a process to save them.

Mr. Art explained the historic structures are not a part of the Renewal Plan, but Urban Renewal funds can be provided to fund any upgrades to the structures.

Commissioner DISNEY asked when the Tax Increment Financing (TIF) will start.

Mr. Art clarified the 25-year plan starts the day after City Council approves it. He added the Carr Street Plan will be done first then the Lutheran Campus a little later, just before the sale of the property. Mr. Art added taxes are always be collected in arrears.

In response to a question about the sale of the truck driving school, Mr. Art confirmed it was sold and that a new industrial building has been proposed for that site, which will help remediate blight.

Commissioner SCHELKE, apologized for being late and mentioned he is concerned about the recreation value at Lutheran and inquired about how alternate modes of transportation will be incorporated into the site.

Mr. Art stated that what individually happens on the site is not at the purview of the Urban Renew Authority until TIF money is requested to build something.

Commissioner DITULLIO asked Mr. Art to explain TIF.

Mr. Art gave a quick TIF 101 example of a vacant piece of land in which property taxes are being paid and is divided up by the County and divvied out to special districts. Once a building is built on the land there is more property tax to be paid and that is called the increment. The increment is given to the Urban Renewal Authority and used to improve Wheat Ridge for a period of 25 years. He added that agreements will be made with all the special districts.

In response to a question from Commissioner GRAEVE, Mr. Art said there are currently five existing plan areas.

It was moved by Commissioner MOORE and seconded by Commissioner DISNEY to adopt Resolution 1-2024, finding the Carr Street Urban Renewal Plan is in conformance with the Wheat Ridge Comprehensive Plan, Envision Wheat Ridge.

Motion Approved 7-0.

It was moved by Commissioner QUINN and seconded by Commissioner KERNs to adopt Resolution 2-2024, finding the Lutheran Legacy Campus Urban Renewal Plan is in conformance with the Wheat Ridge Comprehensive Plan, Envision Wheat Ridge.

Motion Approved 7-0.

C. CU Student Research Opportunity, presentation by Jake Carias

Mr. Carias gave a brief presentation on his dissertation regarding The Politics of Designing Healthy Neighborhoods. He asked the commissioners to participate in a survey and optional interview regarding health, social values, and their experiences in their respective neighborhoods. He mentioned that participation is optional.

Commissioner DISNEY asked how they can participate.

Ms. Easley said she will email a link to all the commissioners along with the power point presentation.

Commissioner KERNS asked how the commissioners can see the results of the study.

Mr. Carias explained that once the study is produced, he can share a copy with the participants.

D. Upcoming Dates

Ms. Easley mentioned the next Planning Commission meeting will be held on March 21. She added that the new Bylaws will go into effect on March 1, and she reminded the Commissioners about the new rules concerning unexcused absences.

E. Project and Development Updates

Ms. Easley announced the opening of Dutch Bros.; she also mentioned that on March 11, 38th Avenue will be closed for a week and that the City is working to get additional business accesses open so as not to interfere with patronizing those businesses near 38th Avenue.

Commissioner DISNEY was concerned that when these types of closures happen Balsam Street becomes the connecting street and would like the Police to do some traffic mitigation to get people to drive slowly.

F. Commissioner Updates

Commissioner GRAEVE mentioned that the Clear Creek Makerspace is scheduled to open this spring. He added the website is up and running at clearcreekmakerspace.com and the membership portal is also open.

Commissioner DISNEY would like the community to follow the local speed limits.

Commissioner MOORE said he is happy to be a part of the Planning Commission.

Commissioner QUINN is eagerly awaiting the renovation of Colorado Plus and added Appleridge Café is also undergoing a renovation.

10. ADJOURNMENT

It was moved by Commissioner QUINN and seconded by Commissioner SCHELKE to adjourn the meeting at 7:40 p.m. Motion carried 7-0.

Kristine Disney, Vice Chair

Tammy Odean, Recording Secretary

**CITY OF WHEAT RIDGE
PLANNING DIVISION STAFF REPORT**

TO: Planning Commission **MEETING DATE:** March 21, 2024

CASE MANAGER: Stephanie Stevens

CASE NO. & NAME: WZ-23-04 / Lutheran Master Sign Plan

ACTION REQUESTED: Approval of a master sign plan for the hospital campus located in Planning Area 1 of the Clear Creek Crossing Planned Mixed-Use Development

LOCATION OF REQUEST: 13155 W. 40th Avenue

APPLICANT (S): HDR Architects, Inc. on behalf of Intermountain Health

OWNER (S): Intermountain Health

APPROXIMATE AREA: 1,173,113 square feet (26.93 acres)

PRESENT ZONING: Planned Mixed-Use Development (PMUD)

COMPREHENSIVE PLAN: Regional Commercial

ENTER INTO RECORD:

(X) CASE FILE & PACKET MATERIALS

(X) ZONING ORDINANCE

(X) DIGITAL PRESENTATION

Location Map



Site

JURISDICTION:

All notification and posting requirements have been met; therefore, there is jurisdiction to hear this case.

I. REQUEST

Case No. WZ-23-04 is an application by HDR Architects, Inc., requesting approval of a master sign plan for the Intermountain Health Lutheran Medical Center hospital campus at Clear Creek Crossing. The master sign plan proposes a deviation from typical standards to allow for internal directional signs and larger wall signs, both of which are inherent to a hospital setting. If approved, the Design Pattern Book will be amended administratively to refer to this master sign plan for Planning Area 1.

Section 26-708.D of the City Code establishes the procedure for master sign plan approval by the Planning Commission:

D. Master sign plan.

1. The planning commission may approve a master sign plan for any existing or proposed commercial, mixed use, or industrial development of at least two (2) acres or more in size which is under unified control either by ownership, legal association or leasehold.
2. The intent and purpose is to encourage well-planned and designed signage within a large multiple building or multiple use complex which expresses unification and integration by elements of architectural style, size, color, placement and lighting while at the same time allowing for reasonable individual business identification. An additional purpose is to encourage the elimination of existing nonconforming signs. The planning commission may grant as a bonus for well-designed plans additional signs and/or up to a fifty (50) percent increase in maximum square footage for each sign, and/or may permit signs in locations other than normally permitted, based upon a finding that the proposed master sign plan substantially meets the intent and purpose of this subsection relating to unification and integration of signage.
3. Once approved at a public hearing by planning commission, all master sign plans shall be recorded with the Jefferson County Recorder's Office and shall constitute a covenant and must be complied with by all owners, proprietors, lessees or assigns, whether current or future. No substantial variation from the plan shall be permitted without planning commission approval. Noticing requirements for a master sign plan process shall follow the procedures outlined in section 26-109.

The City has only a few properties with master sign plans, including the current Lutheran Hospital campus, Kipling Ridge (at 38th/Kipling), the Corners at Wheat Ridge (at the SWC 38th/Wadsworth), Applewood Village Shopping Center, Gold's Marketplace (at 26th/Kipling), and West End 38 (at the NEC 38th/Wadsworth). Master sign plans are appropriate on these types of developments where multiple buildings or uses comprise a single cohesive development. The City's sign code works well for single buildings on single lots, but a master sign plan better serves these larger developments, including medical campuses with multiple street frontages and multiple buildings.

Pursuant to City Code, the development is eligible for a master sign plan because it is over two acres in size, is under unified control, and includes commercial development.

Architectural Control Committee

An Architectural Control Committee (ACC) was established specifically for this the Clear Creek Crossing development to ensure compliance with the Design Pattern Book, third-party review, consistency across the project, and to conduct schematic design review prior to the City's planning review. The ACC is comprised of 6 members: 3 appointed by mutual agreement between the Developer and the City of Wheat Ridge Community Development Director, 2 seats held by the Developer, and 1 seat held by a City of Wheat Ridge Planning Division staff member.

The ACC has fulfilled the requirement to review this master sign plan two times: first, prior to the City's pre-application meeting and second, as part of the City's referral process. The ACC has provided written approval of the subject master sign plan as their referral response, provided in *Exhibit 6, ACC Approval*.

Planning Commission Review

As noted above, per Section 26-708.D, the Planning Commission is the final authority for approval of a master sign plan. The plan sheets and exhibits that will comprise the recorded master sign plan are included. Construction details, such as sign permit plans showing exact locations of signs, are not included for review by Planning Commission and are under review by staff.

II. EXISTING CONDITIONS

The site is located within the Clear Creek Crossing master-planned development and situated northeast of the intersection of W. 40th Avenue and Clear Creek Drive. The total lot measures approximately 26.93 acres in size (*Exhibit 1, Aerial*). Clear Creek Crossing was zoned Planned Mixed Use Development (PMUD) in 2018 with a regulating Outline Development Plan (ODP), Design Pattern Book and Vision Book (*Exhibit 2, Zoning Map and Exhibit 3, Design Pattern Book Excerpts*). These regulatory documents established the allowed uses and development standards for the property, including sign standards.

The site is considered a part of Planning Area (PA) 1 of the PMUD and is located within Lot 1, Block 1, SCL Health Lutheran Medical Center Subdivision. PA 1 is also called the Mill District denoting this area as an employment-based subdistrict in the Clear Creek Crossing development. The overall vision for the 26.93-acre site along I-70 in the development is to create a medical campus to serve Wheat Ridge residents and the West Metro community. Specific Development Plans were approved for the hospital in 2021 and Medical Office Building (MOB) in 2023 (Case Nos. WZ-21-01 and WZ-22-06). Neither SDP included proposed signage because it was understood that a master sign plan would follow.

III. CASE ANALYSIS

The proposed master sign plan is comprised of six (6) sheets (*Exhibit 4, Master Sign Plan*).

- Sheet 1 contains signature blocks required for recordation, a vicinity map, and a brief explanation of the purpose of the document. Signage for the site is expected to comply with the standards in Chapter 7 of the Clear Creek Crossing Design Pattern Book except as modified by the master sign plan.

- Sheet 2 includes the proposed signage standards for freestanding signs, wall signs, and canopy signs.
- Sheets 3 and 4 include a site plan for the entire property, the proposed sign locations, and details for the freestanding and wall signs.
- Sheets 5 and 6 show the elevations of the buildings with signage locations.

The standards proposed in the master sign plan are summarized below in the order they appear on sheet 2. For each type of sign, the provided analysis compares the standards proposed in the master sign plan with the standards that would otherwise apply (from Chapter 7 of the Clear Creek Crossing Design Pattern Book). All other signage proposed on the property will comply with the Design Pattern Book and is not represented on this plan; the purpose of the master sign plan is specifically to document and approve deviations from the underlying sign requirements. The applicant's letter of request is provided in Exhibit 5, Applicant Request.

Freestanding Signs

- Allowed vs. Proposed: The Design Pattern Book regulates freestanding signs, but those standards are intended for retail contexts, to advertise tenants and the Clear Creek Crossing project as a whole. The master sign plan proposes a new category of freestanding signs that better aligns with the needs of a hospital campus. In the context of a hospital campus, directional signs are critical and necessitate a larger size. The master sign plan proposes two types of directional signs – monument-style and post and panel – which are described in the table below.

The deviations from the Design Pattern Book are indicated in the table below. Freestanding sign details with elevations of the directional monument signs are on sheet 2 of the master sign plan. The new signs are proposed to match, with basic concrete bases.

SIGN TYPE	Design Pattern Book/code ALLOWANCE	REQUESTED
Freestanding Signs		
Primary Directional Monument	The Design Pattern Book does not contemplate internal directional monument signs.	Max #: 5
		Max size: 32 SF
		Max height: 7'
		Min setbacks: 5' from property lines; and Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalks; or Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks

(continued on next page)

SIGN TYPE	Design Pattern Book/code ALLOWANCE	REQUESTED
Freestanding Signs (continued)		
Secondary Directional Monument	The Design Pattern Book does not contemplate internal directional monument signs.	Max #: 1
		Max size: 23 SF
		Max height: 5'
		Min setbacks: 5' from property lines; and Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalks; or Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks
Tertiary Directional Monument		Max #: 4
		Max size: 12 SF
		Max height: 4'
		Min setbacks: 5' from property lines; and Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalks; or Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks
Regulatory Directional Monument		Max #: 6
		Max size: 14 SF
		Max height: 5'
		Min setbacks: 5' from property lines; and Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalks; or Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks
Post and Panel Directional	Max #: No limit	Max #: 5
	Max size: 4 SF	Max size: 3 SF
	Max height: 4'	Max height: 9' (with 7' clearance)
	Min setback: None	Min setback: None

- Findings: The Design Pattern Book standards for freestanding signs are limiting for the hospital site which has multiple buildings with multiple uses, designated parking areas for specific uses, and a designated circulation network for ambulances and emergency vehicles that need to be clearly signed. The needs of a hospital campus are simply different than the needs of a retail center. The proposed freestanding signs are intended for directional purposes. Setbacks have been incorporated to reduce vehicular and pedestrian conflicts, and freestanding signs will be required to be located outside of sight distance triangles. The height and size of the signs is reasonable given the size and scale of the development. The freestanding signs will unify the campus which has multiple buildings and uses and provide the directional guidance that is needed for efficient and safe circulation.

Wall Signs

- Allowed vs. Proposed: In the Design Pattern Book, wall signs are allowed on building façades that face a primary entry/exit, public right-of-way, parking areas, and private streets/drives. Size is limited to one-square foot for every linear foot of the façade to which the sign is affixed (a 1:1 ratio), equating to the maximum sizes per eligible elevation listed below with no limit on number of signs so long as size requirements are met. Signs are allowed to project up to 15 inches beyond the building wall. Canopy signs are considered wall signs.

The master sign plan proposes an increased allowance of wall signs in four locations: on the hospital's south elevation (containing the primary entrance and visible from I-70 and W. 40th Avenue), the parking garage east elevation (facing I-70), and the MOB north and south elevations (which can be seen from Highway 58 and W. 40th Avenue).

To balance the request for larger signs on the most visible facades, the applicant is proposing to prohibit any signs on other parking garage and MOB facades that are eligible for signage pursuant to the Design Pattern Book. The proposed wall signs are shown on sheets 4 through 6 of the master sign plan.

The deviations from the Design Pattern Book are indicated in the table below.

SIGN TYPE	Design Pattern Book ALLOWANCE	REQUESTED
Wall Signs		
Hospital South Elevation	Max #: No limit	Max #: 3
	Max wall sign area: 611 SF	Max wall sign area: 900 SF
	Max individual sign area: 611 SF	Max individual sign area: 715 SF
Parking Garage East Elevation	Max #: No limit	Max #: 2
	Max wall sign area: 219 SF	Max wall sign area: 300 SF
MOB North and South Elevations	Max #: No limit	Max #: No limit
	Max wall sign area: 137.5 SF	Max wall sign area: 200 SF
Additional Standards	N/A	No wall signs allowed on north, south or west of parking garage
		No wall signs allowed on east of MOB
Canopy Signs	Max #: 1	Max #: 1
	Max. size: 6 SF	Max size: 12 SF
	Counted towards wall sign allowance	Allowed in addition to wall signs

- Findings: Staff finds that while the size allowance is larger than what the Design Pattern Book allows, the other restrictions put in place, such as prohibiting signage on other facades and limiting the number of signs allowed, result in a more visible and cohesive development with minimal overall impact. The hospital use is unique in that it requires a high level of visibility, and the hospital campus is surrounded on three sides by major roadways that have a broad range of sight visibility. The scale and mass of the buildings is larger than the average which warrants larger signs. All signs that are proposed to be larger than the Design Pattern Book allows are within a 50% increase and are found to meet the intent of purpose of Section 26-708.D relating to unification and integration of signage.

The site will comply with the signage standards in Chapter 7 of the Clear Creek Crossing Design Pattern Book except as modified by the master sign plan. Ultimately, the master sign plan is cohesive and modestly-sized compared to the overall scale of the development. The additional signs will help customers access and navigate the site.

IV. STAFF CONCLUSIONS AND RECOMMENDATION

Staff concludes that the subject property is eligible for a master sign plan and that the proposed plan promotes well-planned and well-designed signage. Staff further finds that the sign plan is reasonable in its requests and is consistent with the intent of the sign code. For these reasons, staff recommends approval of the master sign plan.

V. SUGGESTED MOTIONS

Option A:

“I move to APPROVE Case No. WZ-23-04, a request for approval of a master sign plan on property zoned Planned Mixed Use Development (PMUD) located at 13155 W. 40th Avenue, for the following reasons:

1. The site is eligible for a master sign plan.
2. The master sign plan promotes well-planned and well-designed signage.
3. The master sign plan is appropriate for a hospital campus which is a unique land use with unique signage and wayfinding needs.
4. The master sign plan is consistent with the intent of the sign code and Design Pattern Book, and is appropriate for the context of the development.

With the following condition:

1. The applicant will obtain building permits that comply with the master sign plan prior to installation of the approved signs.

Option B:

“I move to DENY Case No. WZ-23-04, a request for approval of a master sign plan on property zoned Planned Mixed Use Development (PMUD) located at 13155 W. 40th Avenue, for the following reasons:

- 1.
2. ...”

EXHIBIT 1: AERIAL



EXHIBIT 2: ZONING MAP



EXHIBIT 3: DESIGN PATTERN BOOK EXCERPTS

See attached.



CLEAR CREEK CROSSING

WHEAT RIDGE, CO

Design Pattern Book

January 2018

Revised – December 2019 – Case No. WZ-19-09

Revised – June 2020 – Case No. WZ-19-10

Revised – October 2023 – Case No. WZ-22-03



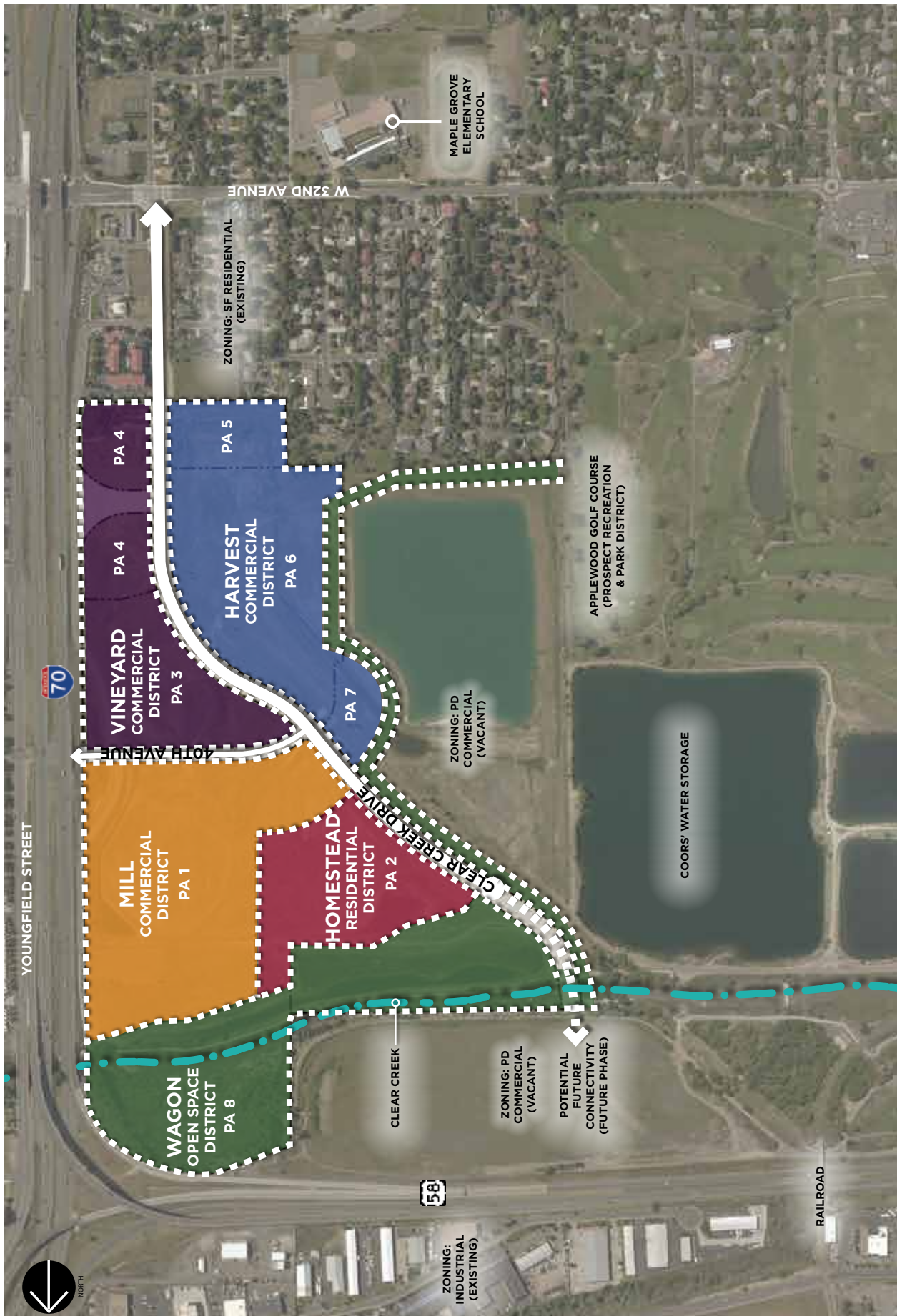
Evergreen
Development | Services | Investment

Galloway
Planning | Architecture | Engineering

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2.2.1 District Diagram





SIGNAGE ALLOWANCE CHART						
Refer to section 7.0 signage of this document for additional intent, guidelines, and standards						
	Sign Type	Allowable Planning Areas	Max Sign Area	Max #	Max Sign Height	Min. Setback
Tenant related freestanding Signs (Also see Section 7.4)	Tenant-related signs fall within the identified category below and may not exceed a total of 26 tenant-related signs.					
	Landmark ID	1,4,8	900 SF	3	50-75'	30'
	Primary Monument	1,3,6	400 SF	5	20'	10'
	Secondary Monument	1,3,4,6,7	150 SF	8	12'	5'
	Major Tenant ID	1,2,3,6	150 SF	4	12'	5'
	Other Tenant	1,2,3,4,5,6,7,8	50 SF	6	8'	5'
Other Freestanding Signs (Also see Section 7.4)	Project ID	1,3,4	50 SF	4	6'	5'
	Wayfinding	1,2,3,4,5,6,7,8	25 SF	8	8'	5'
	Interpretive Trailhead	1,2,6,7	25 SF	4	8'	5'
Building Signage (Also see Section 7.5)		(See section 7.5 for wall eligibility)				
	Primary Wall-Mounted Sign	1,2,3,4,5,6,7,8	1 SF per LF of eligible wall length	N/A	N/A	N/A
	Secondary Wall-Mounted Sign	1,2,3,4,5,6,7,8	May not exceed primary			
	Trail or Amenity-Oriented Wall-Mounted Sign	6,7	0.5 SF per LF of eligible wall length	1		
	Under Canopy Sign	1,2,3,4,5,6,7,8	6 SF			
	Projecting Sign	1,2,3,4,5,6,7,8	1 SF per LF of eligible wall height	N/A		
	Painted & Creative Sign	3,4,6	Same as primary or secondary			
	Other Signs	Per City of Wheat Ridge Standards, Chapter 26, Article VII, 26-701				

Note: The following sign location graphic map in the following Section 7.3 is conceptual and intended to give an idea of the overall sign plan for the site. The signage allowance chart dictates the total number of signs allowed.



DESIGN STANDARDS

- Freestanding signs will consist of the following types of site signage:
 - Landmark ID Monument
 - Primary Monument
 - Secondary Monument
 - Project ID Monument
 - Major Tenant Sign
 - Other Tenant Sign
 - Wayfinding Signage
 - Interpretive / Trail head Signage
- Landmark ID Monument Signs shall be designed to be visible by traffic along the adjacent highways, with clear identification of CCC as well as major tenants. Maximum height of these signs shall be 50 feet, unless the panels are not visible to nearby highway traffic; Landmark signs may be up to 75 feet and only as tall as necessary to provide adequate visibility as determined by the Community Development Director.
- Monument and Project ID signs establish the character and identify of the development and shall be sited in key locations, primarily at intersections or important access drives.
- Project ID signs identify the development and shall be sited in key locations, primarily at intersections or important gateways.
- Major Tenant signs shall include freestanding signs for users >30,000 SF.
- Other Tenant signs shall not be required to connect to the sign family but should follow all other standards and shall be located on the lot which they advertise.
- All freestanding signs shall be integrated into the streetscape, complementing items such as plantings, trees, paving patterns, and street furnishings.
- No signs shall obstruct designated sidewalks.
- Designated setback requirements begin at edge of ROW. The materials of freestanding signs shall be similar or closely related to the materials of the primary structures.
- Materials should connect to the Clear Creek Crossing palette (Sec 4.0) as illustrated across the Sign Family, embracing a mix of natural color and material selections while allowing use of synthetic, composite or laminated materials that provide a similar look with added durability.
- Variations in design and location from Master Signage Plan are allowed subject to approval of the Community Development Director.
- All freestanding signs shall contain a consistent design and be comprised of compatible materials in order to be considered unified.
- All signs must comply with the method of measuring the surface area of the sign as outlined in Chapter 26 of the Zoning and Development Code.
- All signs must comply with sight triangle requirements as outlined in Chapter 26 of the Zoning and Development Code.
- Landmark ID, Project ID, and primary monument signs are allowed on undevelopable sites absent buildings as generally depicted on the signage map subject to approval of the Community Development Director
- See Section 7.2 for additional standards.

DESIGN INTENT

- Develop freestanding sign family for the site that allows some flexibility while maintaining a brand identity for the site that serves to connect the Districts.
- Through materials and color palette, design a freestanding sign family that is inspired by the natural and cultural cues that surround the site's location
- Create a balance in both design and placement of site signage, so that the Project brand is unique while the users/tenants logos are prominently placed appropriately based on relative significance within the overall development.

DESIGN GUIDELINES

- Visibility, location of trees and vegetation, and compatibility with the surrounding landscaping and hardscaping should be considered in the placement and design of signs.
- Sign lighting should be consistent with the lighting of building elements and storefront lighting.
- Signs adjacent to residential neighborhoods should be turned off after business hours.
- Sign lighting should be designed to minimize light pollution, in compliance with dark sky principles. Pedestrian lights shall be semi-cutoff fixtures at a minimum.
- Except for Other Tenant signs, all sign types should have simple, modern, and efficient style that connects to the sign family and material palette.
- This Chapter of the design Pattern Book is considered the master sign plan.



MAJOR TENANT MONUMENT

Freestanding signs are associated with large commercial or employment users, generally greater than 30,000 square feet. Designed to associate with the CCC signage family, Major Tenant signs provide clear identification of the tenant along a public street within CCC. Primary Monument signs will be encouraged to minimize the total number of Major Tenant signs.

Sign Standards (See Pg. 99 for additional standards)

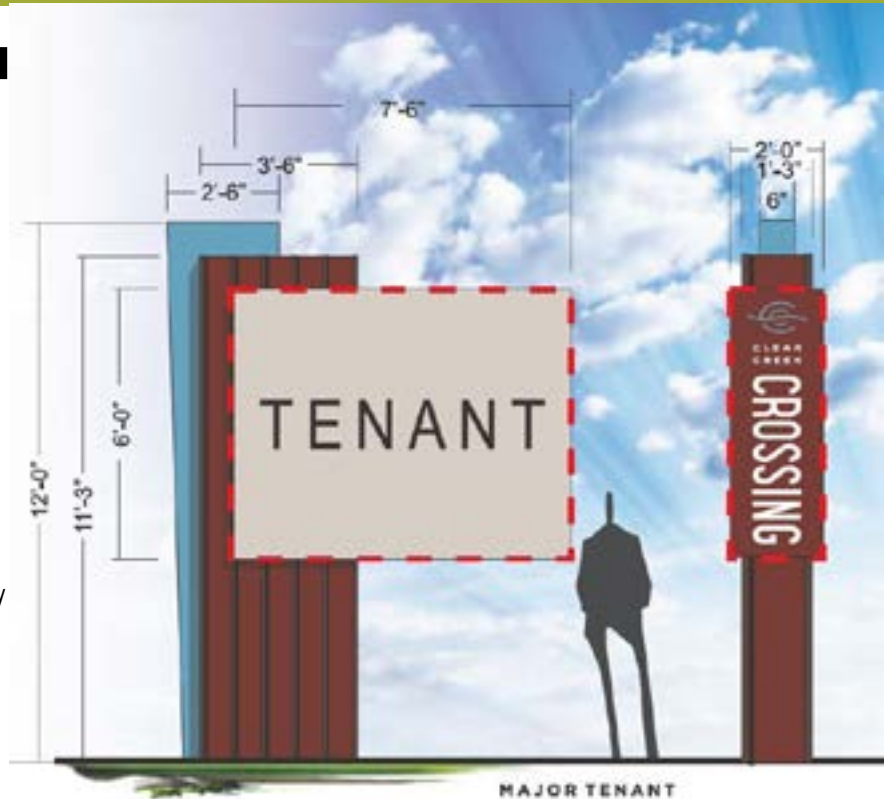
Maximum area:	150 SF
Maximum height:	12'
Minimum setback:	5'
Maximum number in project:	4

- Major Tenant signs may be submitted in lieu of Primary and Secondary Monument locations so long as the cumulative number of primary, secondary, and major tenant signs does not increase.
- Identification of CCC is required
- Signs may be internally illuminated
- Signs must be placed within a landscaped area

See Sections 7.2 and 7.3 for allowable locations.

Sign Area

- Tenant Cabinet: 45 Sq. Ft.
- Logo and copy: 12 Sq. Ft.



OTHER TENANT SIGN

Freestanding 'Other' signs are associated with residential, commercial or employment users. Designed to associate with the CCC signage family, other tenant signs provide clear identification of the tenant within the boundaries of the lot, either on public street or visible from a public street within CCC. Secondary Monument signs will be encouraged to minimize the total number of Other Tenant signs.

Sign Standards (See Pg. 99 for additional standards)

Maximum area:	50 SF
Maximum height:	8'
Minimum setback:	5'
Maximum number in project:	6

See Sections 7.2 and 7.3 for allowable locations.

- Identification of CCC is required
- Signs may be internally illuminated
- Signs must be placed within a landscaped area

Sign Area

- Tenant Cabinet: 24 Sq. Ft.
- Logo and copy: 6 Sq. Ft.



**Note: Sign detail shown for illustrative purposes only.
Sign standards govern maximum sign area allowances.*



DESIGN INTENT

- Identify individual retail shops, anchor tenants, commercial tenants, or Project with wall mounted signs as required.
- Intended to be visible from both building entrances as well as traffic thoroughfares, depending upon orientation.
- Through materials and style, connects to building architecture.
- Prioritize legibility and brand recognition, providing clear identification and direction complementary to freestanding signage.



DESIGN STANDARDS

- Building signs shall consist of the following types:
 - Primary Wall Mounted Tenant Sign
 - Secondary Wall Mounted Tenant Sign
 - Trail or Amenity-Oriented Wall Mounted Tenant Sign
 - Under Canopy Sign
 - Projecting Sign
- Total allowable wall sign area shall be determined for each user by calculating the linear footage of eligible sign frontage. See pages 106 and 107 for additional standards and wall eligibility.
- In determining wall eligibility, only the footprint of the structure can be used. The floor area of gas station and drive-thru canopies cannot be applied toward the freestanding sign allowance.
- Wall sign allowance may be transferred from one eligible primary or secondary frontage to another (including from primary to secondary) so long as the total size of secondary signs on a given frontage is less than the total size of all signs on the primary frontage.
- Building signs shall be constructed of durable materials permanently affixed to an exterior surface of any building, wall or structure.
- Building signs shall not extend more than 15 inches beyond the wall, with exception of projecting signs, which are allowed when oriented toward pedestrians.
- Signs placed upon marquees, canopies or awnings shall be considered as signs.
- Sign design shall correspond to a set signage family, with variations allowed subject to approval of the Community Development Director.
- Building signs located within 300 feet of and/or highly visible from existing residential uses shall be constructed either with an opaque background and translucent text and symbols, or with a dark (not white, off-white, light gray, cream or yellow) background and generally lighter colored text and symbols.
- House or building address number signs shall be consistent with section 26-639 of the Zoning and Development Code.

DESIGN GUIDELINES

- Painted signs and other creative signage expressions, including possible unique roof signage, are encouraged in Vineyard and Harvest Districts only, subject to approval of ACC and at the sole discretion of the Community Development.
- Building sign lighting should be designed to minimize light pollution, in compliance with dark sky principles.
- Illuminated signs adjacent to residential neighborhoods and trail or amenity-oriented signs should be turned off during non-business hours.



Primary Wall Mounted Tenant Sign Standards:

These signs identify the individual tenants within the building and are located on the exterior of the building in which the tenant is located. The side of the building with primary entry/exit to the tenant space is considered the eligible frontage. For tenants with a corner entry, the tenant may choose which side is considered primary. Tenants are permitted multiple signs on the primary entry/exit facade of the building, as long as the overall permitted sign area is not exceeded. Total allowable wall sign area of primary wall-mounted signs shall not exceed one (1) square foot per linear foot of eligible frontage.

Wall sign allowance may be transferred from one eligible primary or secondary frontage to another within limitations. See page 105.

Eligible frontage, primary signs means the side of the building with primary entry/exit to the tenant space.



Secondary Wall Mounted Tenant Sign Standards:

Tenants are also permitted secondary wall mounted signs that may be placed on a non-entrance/exit side of the building that contains the tenant's space. Eligible frontages include facades that face public rights-of-way, parking areas, private streets or drives. Secondary signs may not exceed the size of primary signs on the same building meaning that the total size of secondary signs on a given frontage must be less than the total size of all signs on the primary frontage.

Wall sign allowance may be transferred from one eligible primary or secondary frontage to another within limitations. See page 105.

Eligible frontage, secondary signs means facades that face public rights-of-way, parking areas, private streets or drives.



Trail or Amenity-Oriented Wall Mounted Tenant Sign Standards:

Tenants abutting the trail within the Harvest District (PA 6 and 7) are permitted trail or amenity-oriented wall mounted signs that may be placed on building elevations facing public spaces. Eligible frontages include any side of a building that faces the public trail or amenity space. Trail or amenity-oriented signs may not exceed half of the allowed size of primary signs on the same building or one-half (0.5) square foot per linear foot of eligible wall.

Eligible frontage, trail or amenity-oriented signs means any side of a building that faces the public trail or amenity space.



See Pg. 105 for additional standards.



Under Canopy Sign Standards:

In addition to the wall mounted tenant signs, each tenant is permitted one pedestrian-oriented under canopy or arcade sign with a maximum area of 6 SF. These under canopy signs are not permitted to be internally illuminated, must maintain 9' vertical clearance above pedestrian walkways, and shall only contain the tenant name and logo associated with the space. May use up to 50% of the allowed wall sign allocation for canopies



Projecting Sign Standards:

Projecting signs are defined as signs affixed to any building, wall or structure, extending beyond the building more than 15". Projecting and wall signs are not permissible on the same wall. Tenants are allowed one projecting sign per street frontage per business and should be oriented toward pedestrians. Sign area is limited to 1 SF for each foot of height of the building to which the sign is attached. The maximum height is the top of the wall or parapet, and signs may not be roof mounted. The maximum projection is 10'. The sign must maintain a minimum distance of 7' from the street frontage or sidewalk.



Painted & Creative Sign Standards:

These signs are expressive and intended to be used sparingly, in order to maximize impact while maintaining a tasteful aesthetic at the Project. Limited to use in the Vineyard and Harvest Districts, artistic signs shall count toward total allowed sign area for wall mounted signs. Individual designs are subject to the approval of the ACC and the Community Development Director.



See Pg. 105 for additional standards.

EXHIBIT 4: MASTER SIGN PLAN

See attached.

INTERMOUNTAIN HEALTH LUTHERAN MEDICAL CENTER AT CLEAR CREEK CROSSING

A SPECIFIC MASTER SIGN PLAN IN THE CITY OF WHEAT RIDGE, CO
BLOCK 1, LOT 1, SCL HEALTH LUTHERAN MEDICAL CENTER AT CLEAR CREEK CROSSING
SITUATED IN SECTIONS 19, 20, 29, & 30, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF WHEAT RIDGE, COUNTY OF JEFFERSON, STATE OF COLORADO

PREPARED FOR:



PEAKS REGION
500 ELDORADO BLVD., SUITE 4300
BROOMFIELD, CO 80021
CONTACT: BRUCE FONG

PREPARED BY:



HOSPITAL ARCHITECT:
1670 BROADWAY, SUITE 3400
DENVER, CO 80202
CONTACT: ANDREW SCHWABE

MOB ARCHITECT:
DAVIS PARTNERSHIP ARCHITECTS
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CONTACT: CRAIG PERRY

COVER

MASTER SIGN PLAN
PAGE 1 OF 6

OWNER'S CERTIFICATE

The below signed owner(s), or legally designated agent(s) thereof, do hereby agree that the property legally described hereon will be developed in accordance with the restrictions and conditions contained in this plan, and as may otherwise be required by law. I (we) further recognize that the approval of this Master Sign Plan does not create a vested property right. Vested property rights may only arise and accrue pursuant to the provisions of Section 26-121 of the Wheat Ridge Code of Laws.

Bruce Fong, Intermountain Health

State of Colorado)
County of Jefferson) SS

The foregoing instrument was acknowledged before me this ____ day of ____, A.D. 20 ____
by ____.
Witness my hand and official seal. My commission expires:

Notary Public

PLANNING COMMISSION CERTIFICATION

Approved this ____ day of ____, ____ by the Wheat Ridge Planning Commission.

Chairperson

CITY CERTIFICATION

Approved this ____ day of ____, ____ by the City of Wheat Ridge.

ATTEST

City Clerk Mayor

Community Development Director

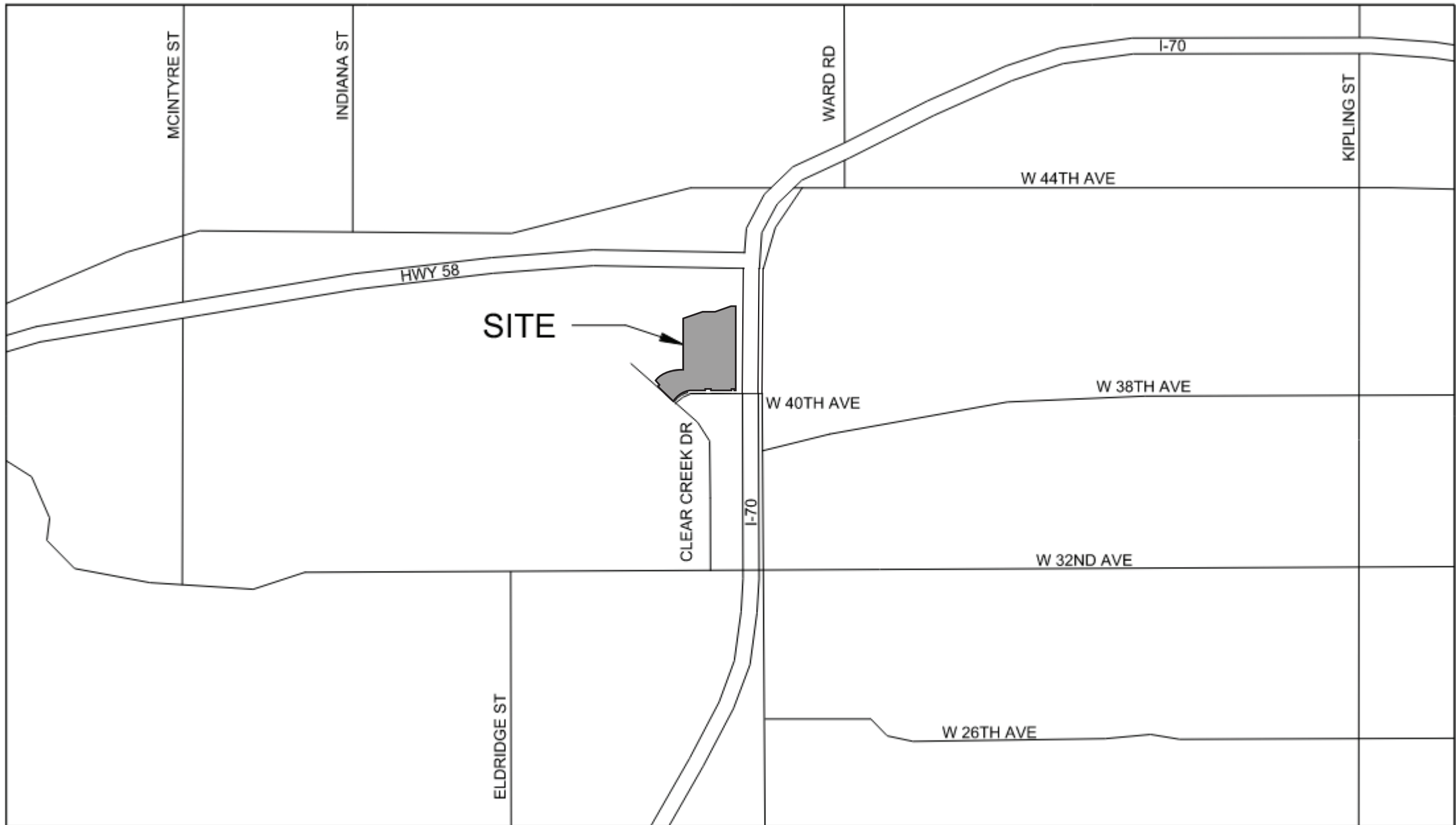
COUNTY CLERK AND RECORDERS CERTIFICATE

State of Colorado)
County of Jefferson) SS

I hereby certify that this plat was filed in the office of the County Clerk and Recorder of Jefferson County at Golden, Colorado, at ____ O'Clock ____, M. on the ____ day of ____, A.D., in Book ____, Page ____, Reception No. ____.

JEFFERSON COUNTY CLERK AND RECORDER

By: ____
Deputy



VICINITY MAP

1-1/2" = 4000'

CASE HISTORY

WZ-23-04	WS-19-04	MS-06-09
WZ-22-06	WS-17-07	WS-06-01
WZ-22-03	WZ-16-07	WZ-06-03
MS-21-01	WS-11-01	SUP-06-05
WZ-21-01	WZ-11-02	SUP-05-04
WZ-19-01	WZ-11-01	WZ-05-02
WZ-19-09	ANX-11-01	WZ-05-01
WZ-19-10	SUP-10-01	SUP-05-01
MS-19-02	MS-06-10	ANX-05-01

LEGAL DESCRIPTION

LOT 1, BLOCK 1,
SCL HEALTH LUTHERAN MEDICAL CENTER AT CLEAR CREEK CROSSING
26.931 ACRES OR 1,173,113 SQ. FT. +/-

SITE DATA

Current Addresses:

Hospital: 13155 W. 40th Ave., Wheat Ridge, CO 80401
MOB: 12905 W. 40th Ave., Wheat Ridge, CO 80401
Garage: 13051 West 40th Avenue, Wheat Ridge CO 80401

Future Addresses:

Hospital: 12911 W. 40th Ave., Wheat Ridge, CO 80401
MOB: 12905 W. 40th Ave., Wheat Ridge, CO 80401
Garage: 13051 West 40th Avenue, Wheat Ridge CO 80401

STANDARD NOTES

- The site is zoned Planned Mixed Use Development and regulated by the Clear Creek Crossing PMUD Outline Development Plan, Design Pattern Book, and Vision Book. The Master Sign Plan shall supersede requirements for site-specific signage, while maintaining unified signage for the overall Clear Creek Crossing development in compliance with the Design Pattern Book.
- The purpose of the Master Sign Plan is to create an integrated plan for the hospital campus that remains cohesive with Clear Creek Crossing.
- Any signage not referenced herein shall be subject to compliance with the Clear Creek Crossing Design Pattern Book.
- All illuminated signs must apply for and receive an electrical permit.
- For the purposes of illustration, this Master Sign Plan shows specific sign copy and dimensions. Sign copy may be changed so long as all future signage complies with applicable standards set forth in this document pertaining to number, size, height and setbacks; the Clear Creek Crossing Design Pattern Book, and Chapter 6, Article VII of the Wheat Ridge Sign Code.
- For the purposes of illustration, this Master Sign Plan shows specific sign locations. Sign locations may be adjusted so long as all future signage complies with applicable standards set forth in this document and the Clear Creek Crossing Design Pattern Book, as applicable.
- Signs on the interior of the project shall not block sight distance for vehicles using internal streets, parking areas, and drives within the property.

INTERMOUNTAIN HEALTH LUTHERAN MEDICAL CENTER AT CLEAR CREEK CROSSING

A SPECIFIC MASTER SIGN PLAN IN THE CITY OF WHEAT RIDGE, CO

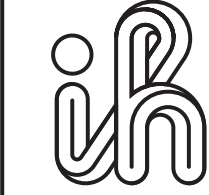
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SITUATED IN SECTIONS 19, 20, 29, & 30, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN

CITY OF WHEAT RIDGE, COUNTY OF JEFFERSON, STATE OF COLORADO


Sign Standards		
Sign Type	Definition	Requirements
Freestanding		
Primary Monument	To comply with Ch. 7 of the Clear Creek Crossing Design Pattern Book	
Secondary Monument	To comply with Ch. 7 of the Clear Creek Crossing Design Pattern Book	
Primary Directional Monument	The largest freestanding sign, typically located at major decision points along public roadways, not located within the public street right-of-way, providing necessary directional information to motor vehicle operators or pedestrians, such as entrance, exit, parking limitations or location of onsite buildings or facilities. Directional signs shall be clearly incidental to the primary signage on a property, in both height and sign area.	Maximum number: 5 Maximum size: 32 SF Maximum height: 7' Minimum setback: 5' from property lines, Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalk. Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks
Secondary Directional Monument	The second-largest freestanding sign, typically located at secondary decision points along public roadways and within the campus, not located within the public street right-of-way, providing necessary directional information to motor vehicle operators or pedestrians, such as entrance, exit, parking limitations or location of onsite buildings or facilities. Directional signs shall be clearly incidental to the primary signage on a property, in both height and sign area.	Maximum number: 1 Maximum size: 23 SF Maximum height: 5' Minimum setback: 5' from property lines, Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalk. Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks
Tertiary Directional Monument	The third-largest freestanding sign, typically located at tertiary decision points within the campus, not located within the public street right-of-way, providing necessary directional information to motor vehicle operators or pedestrians, such as entrance, exit, parking limitations or location of onsite buildings or facilities. Directional signs shall be clearly incidental to the primary signage on a property, in both height and sign area.	Maximum number: 4 Maximum size: 12 SF Maximum Height: 4' Minimum setback: 5' from property lines, Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalk. Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks
Regulatory Directional Monument	A regulatory sign, typically located within the campus where warnings are required, not located within the public street right-of-way, providing necessary directional information to motor vehicle operators or pedestrians, such as entrance, exit, parking limitations or location of onsite buildings or facilities. Directional signs shall be clearly incidental to the primary signage on a property, in both height and sign area.	Maximum number: 6 Maximum size: 14 SF Maximum height: 5' Minimum setback: 5' from property lines, Within landscaped areas 5' wide or less: 1' from back of curb and 6" from adjacent sidewalk. Within landscaped areas that >5', 2' from back of curb and 6" from adjacent walks
Post and Panel Directional Signs	A freestanding sign, typically located in close proximity to an entrance or service destination, not located within the public street right-of-way, providing necessary directional information to motor vehicle operators or pedestrians, such as entrance, exit, parking limitations or location of onsite buildings or facilities. Directional signs shall be clearly incidental to the primary signage on a property, in both height and sign area.	Maximum number: 5 Maximum size: 3 SF Maximum height: 9' Minimum setback: 0' Minimum height clearance: 7'
Wall Signs	A sign constructed of durable materials or painted and which is permanently affixed to an exterior surface of any building, wall or structure and which does not extend more than fifteen (15) inches beyond the building wall, except that signage placed upon marquees, canopies or awnings shall be considered as wall signs.	Hospital South Elevation Maximum number: 3 Maximum wall sign area: 900 SF. No single sign can be larger than 715 SF.
		Parking Garage East Elevation Maximum number: 2 Maximum wall sign area: 300 SF.
		MOB North & South Elevations Maximum number: No Limit Maximum wall sign area per elevation: 200 SF.
		Additional Standards: 1. Wall signs shall not be permitted on the north, south, or west elevations of the parking garage nor the eastelevation of the MOB. 2. All other wall signs comply with Ch. 7 of the Clear Creek Crossing Design Pattern Book.
Canopy Signs	A sign mounted to a roof-like structure serving the purpose of protecting vehicles and/or pedestrians and which may be freestanding or attached to a building, is provided with supports, and is open on three (3) sides if attached and on all sides if freestanding.	Maximum number: 1 Maximum size: 12 SF Maximum height: 9' Minimum setback: 0' Minimum height clearance: 7'
		NOTE: Canopy sign permitted in addition to wall signs.
Address Signs	To comply with Ch. 26, Article VII of the City Sign Code	
Additional Standards:		
Signs are permitted to be illuminated subject to approval of a sign permit and electrical plans.		
Freestanding signs shall comply with sight distance requirements pursuant to Section 26-603 of the Wheat Ridge Code of Laws.		
Freestanding signs shall not obstruct easements unless approval is obtained from the easement holder.		
Freestanding signs shall be placed within landscaped areas.		

PREPARED FOR:

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
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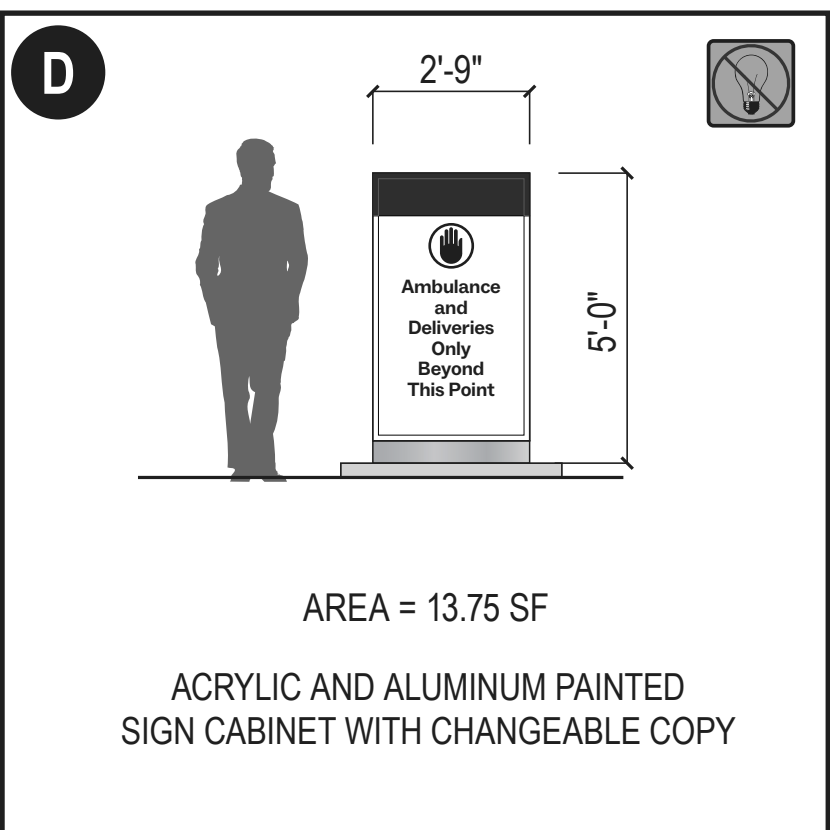
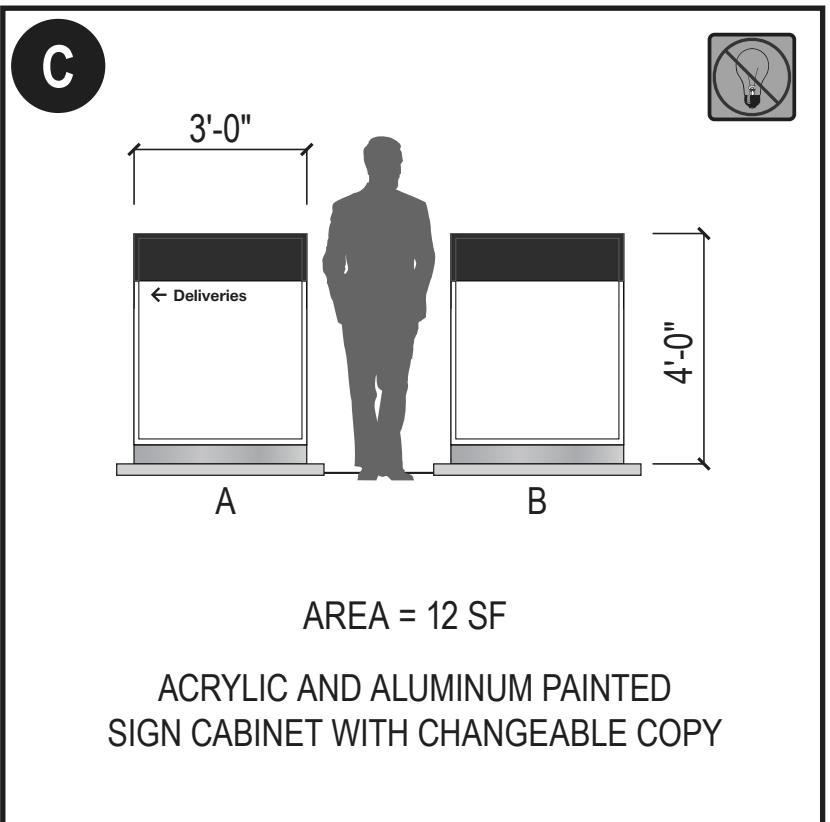
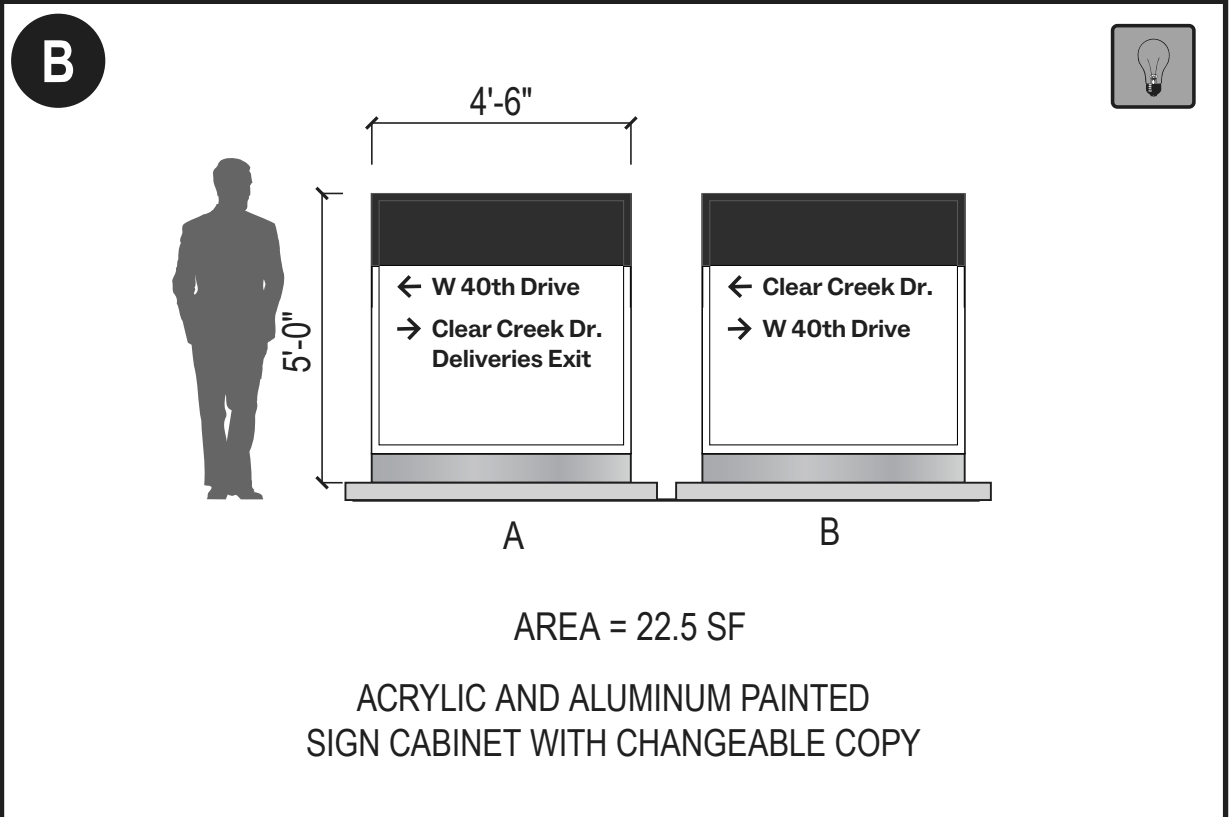
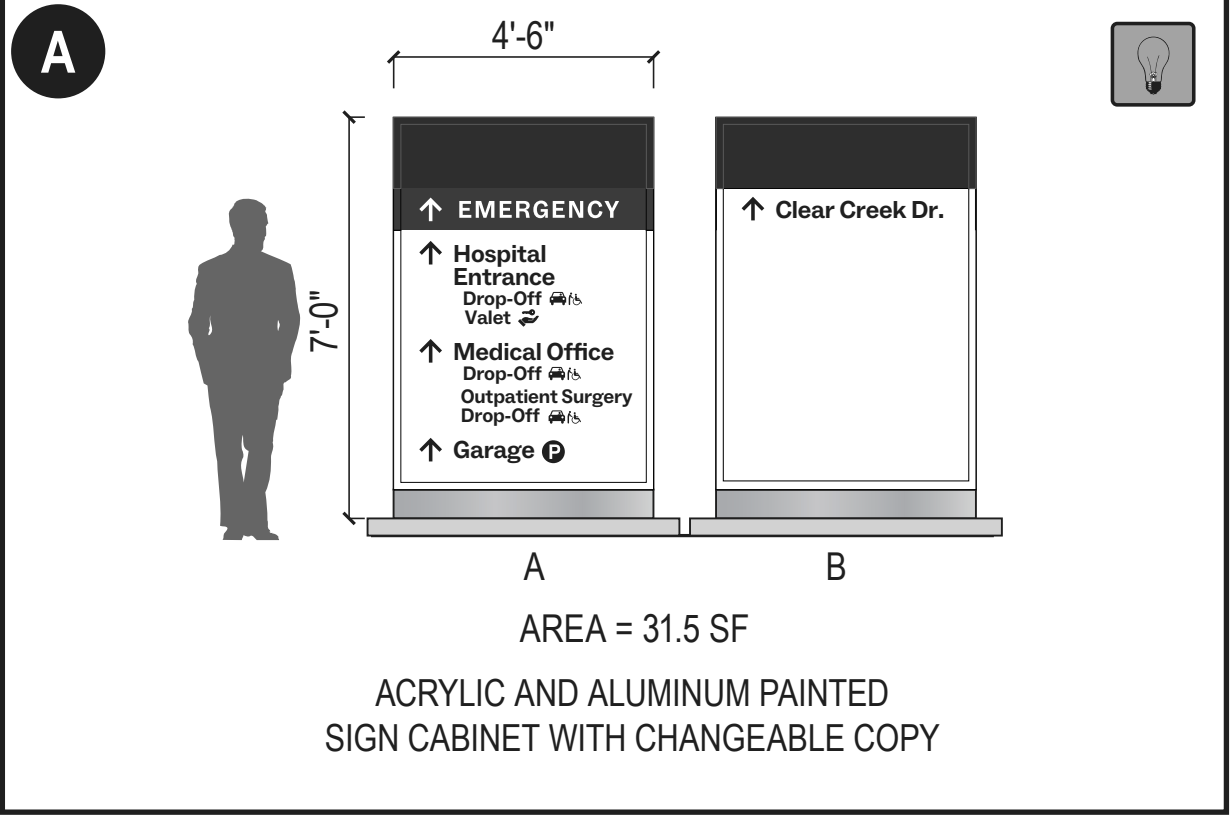
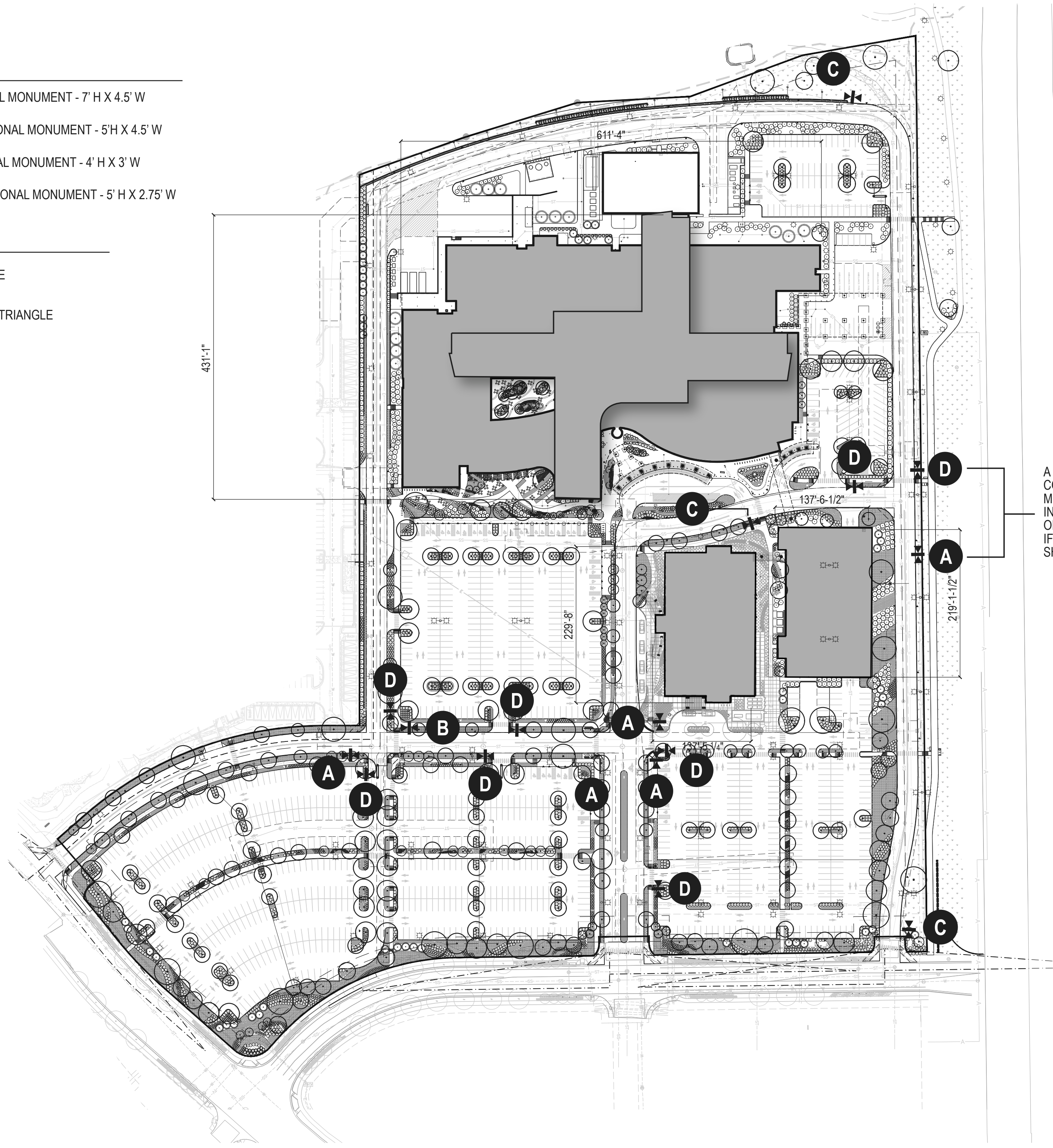
LEGEND

FREESTANDING SIGNS

- A** PRIMARY DIRECTIONAL MONUMENT - 7' H X 4.5' W
B SECONDARY DIRECTIONAL MONUMENT - 5' H X 4.5' W
C TERTIARY DIRECTIONAL MONUMENT - 4' H X 3' W
D REGULATORY DIRECTIONAL MONUMENT - 5' H X 2.75' W

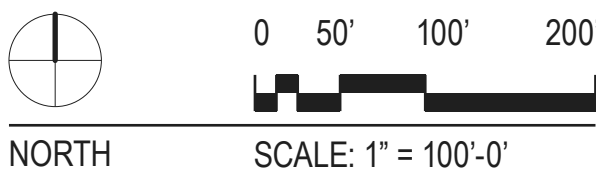
SITE TRIANGLES

-  SITE TRIANGLE
 AASHTO SITE TRIANGLE



NOTES:

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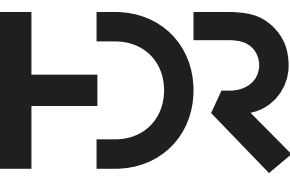


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FREESTANDING SIGN
LOCATION MAP

MASTER SIGN PLAN
PAGE 3 OF 6

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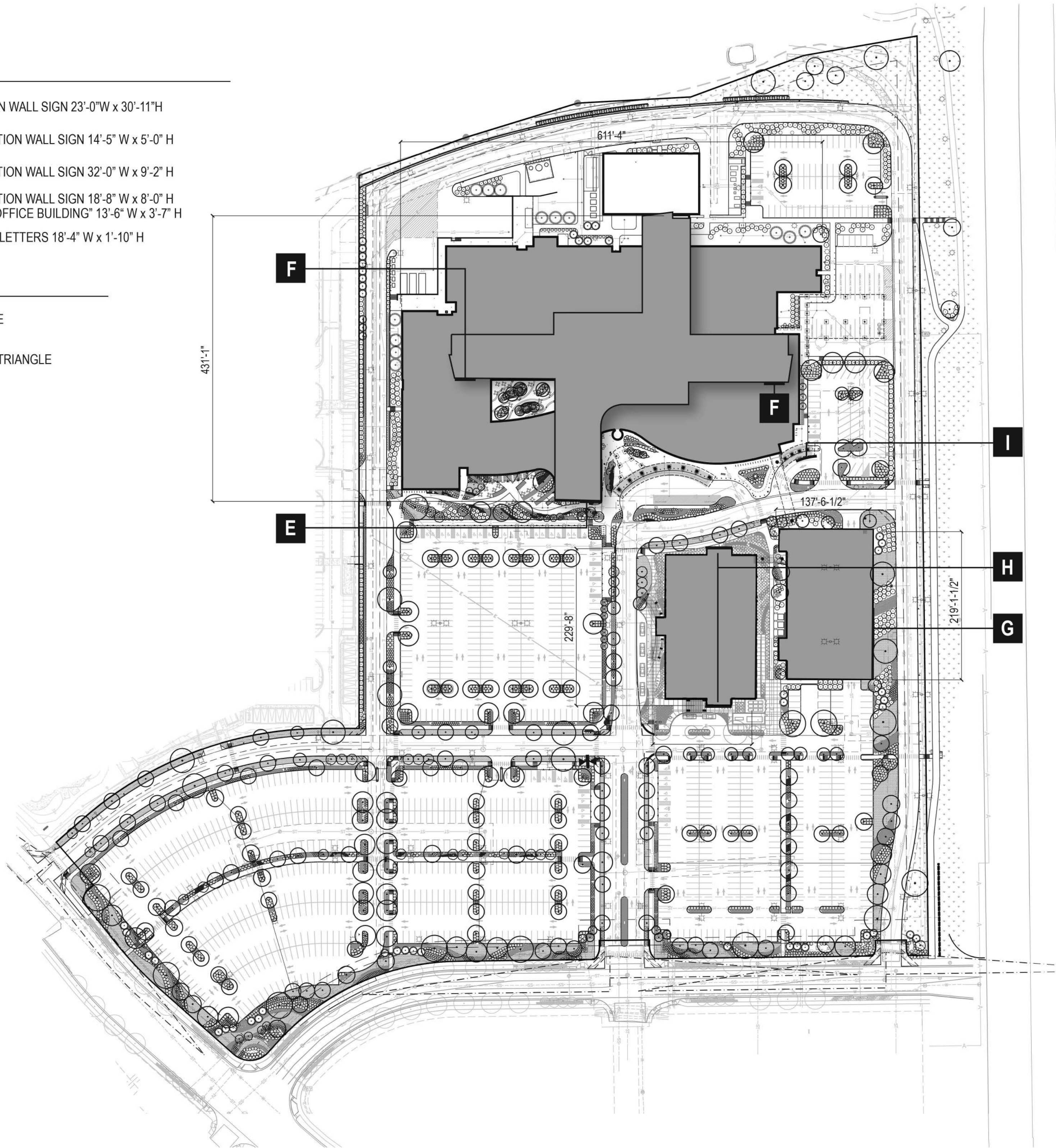
LEGEND

WALL AND CANOPY SIGNS

- E** VERTICAL ORIENTATION WALL SIGN 23'-0" W x 30'-11" H
- F** HORIZONTAL ORIENTATION WALL SIGN 14'-5" W x 5'-0" H
- G** HORIZONTAL ORIENTATION WALL SIGN 32'-0" W x 9'-2" H
- H** HORIZONTAL ORIENTATION WALL SIGN 18'-8" W x 8'-0" H
"LUTHERAN MEDICAL OFFICE BUILDING" 13'-6" W x 3'-7" H
- I** EMERGENCY CANOPY LETTERS 18'-4" W x 1'-10" H

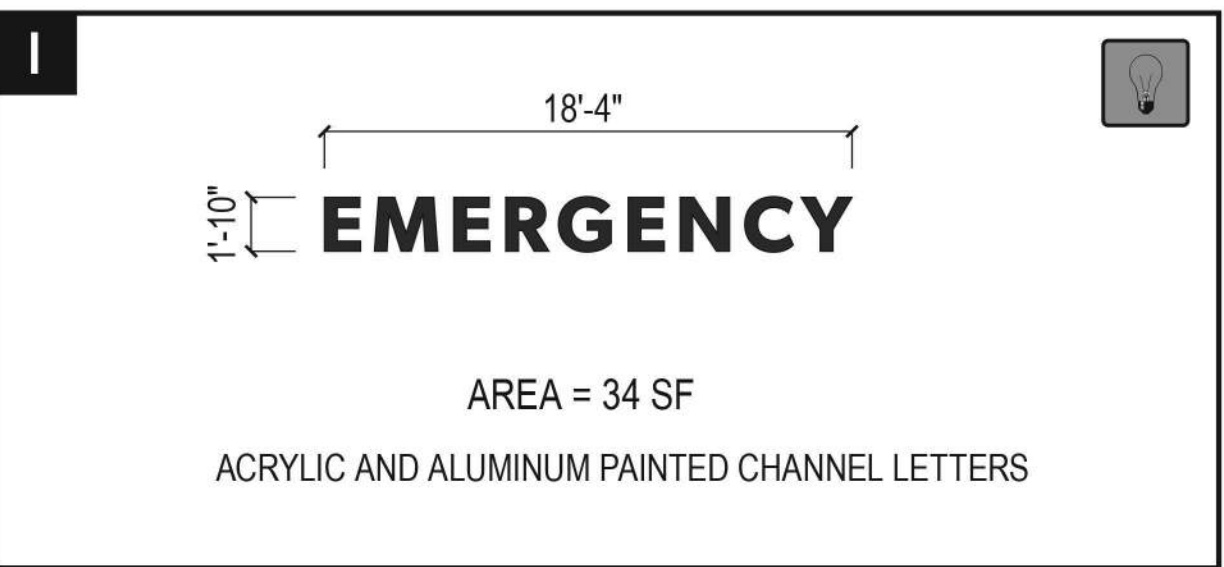
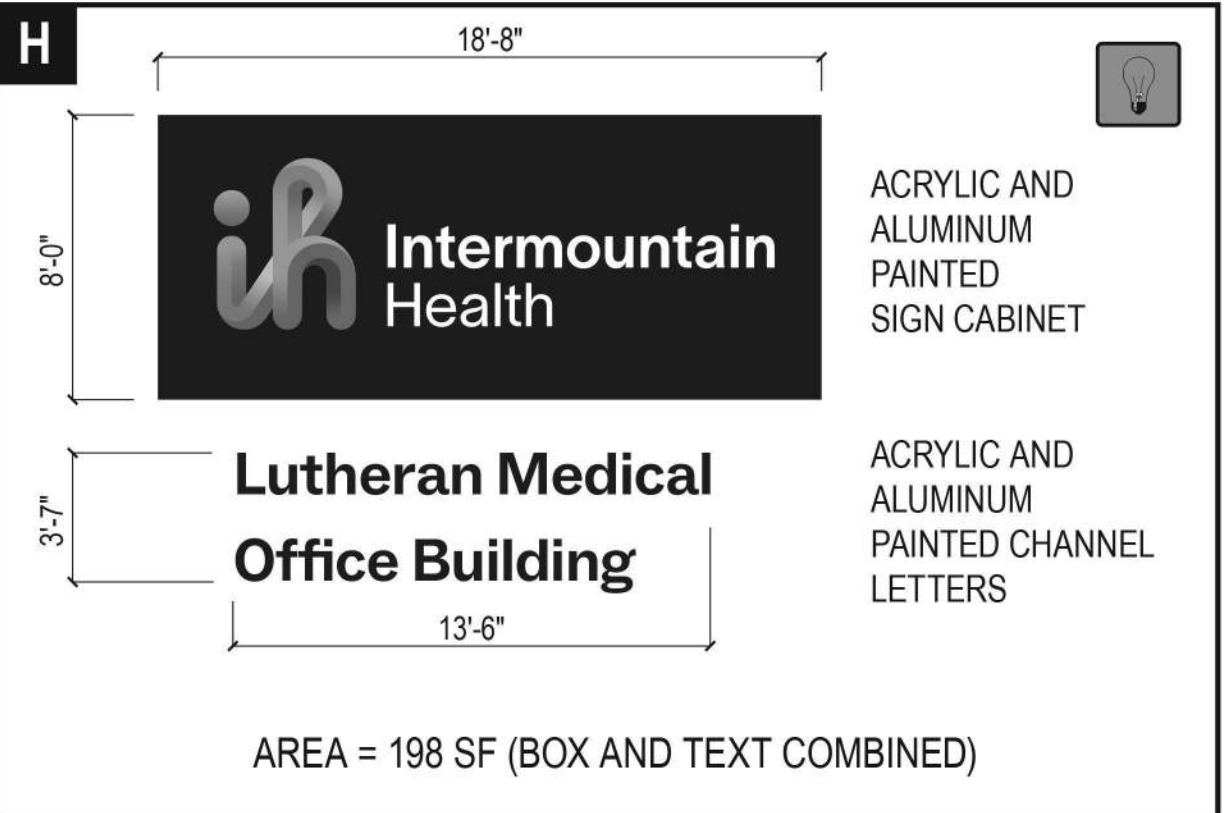
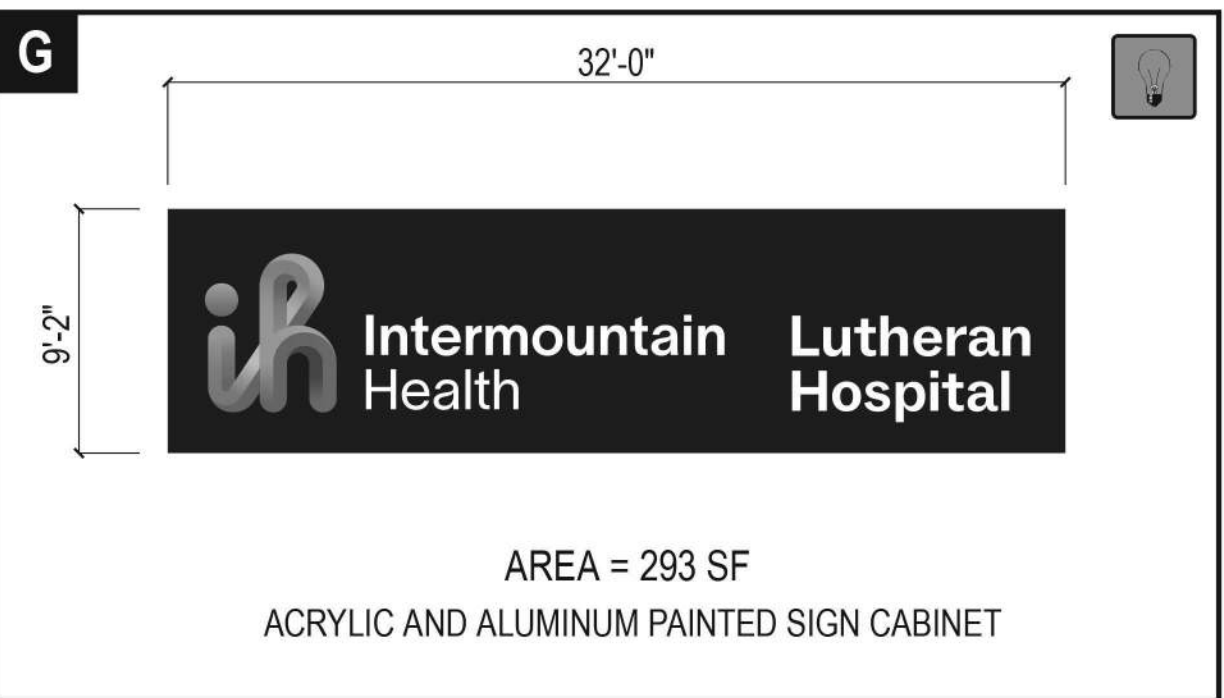
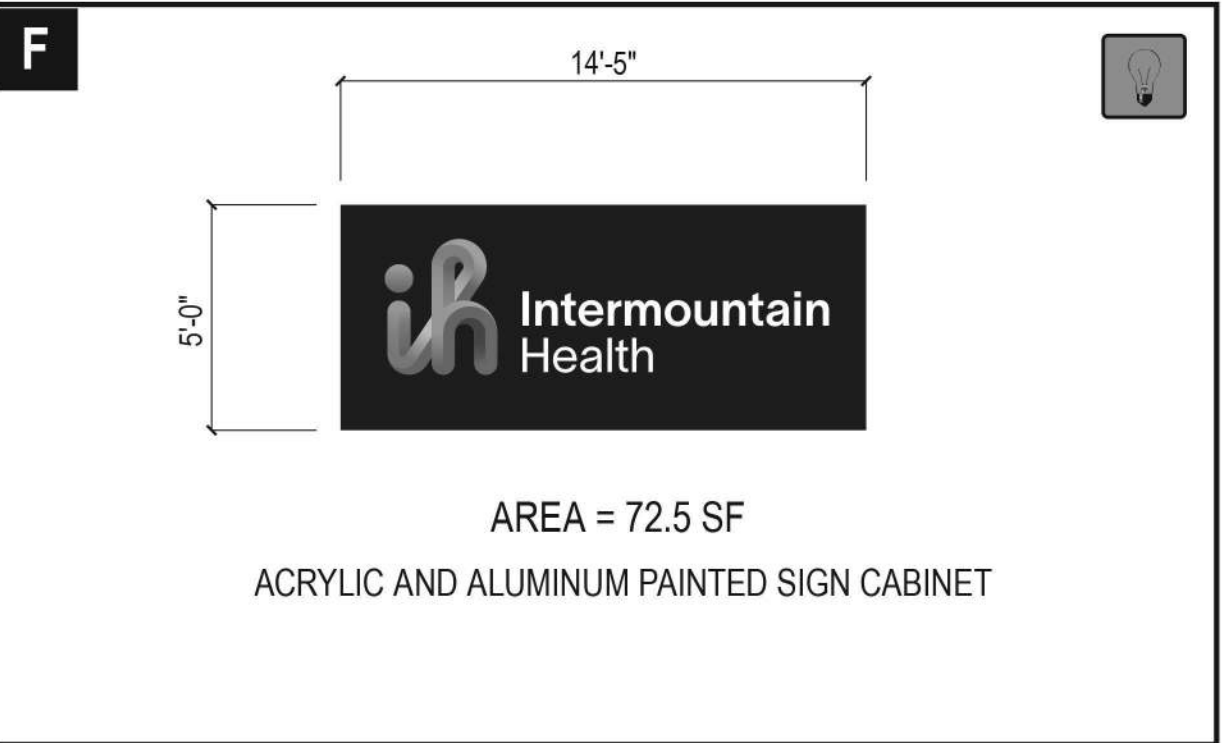
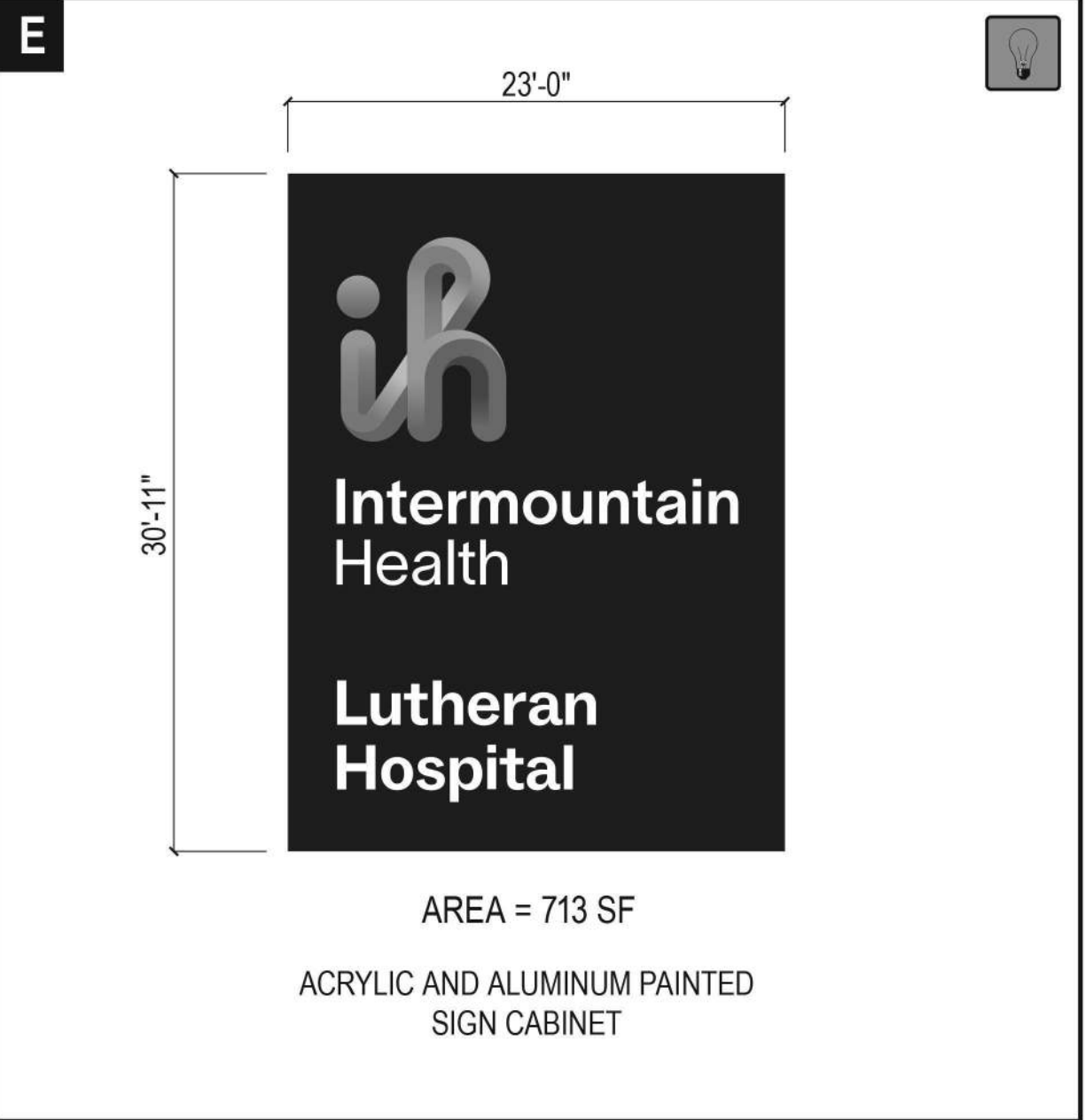
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DR

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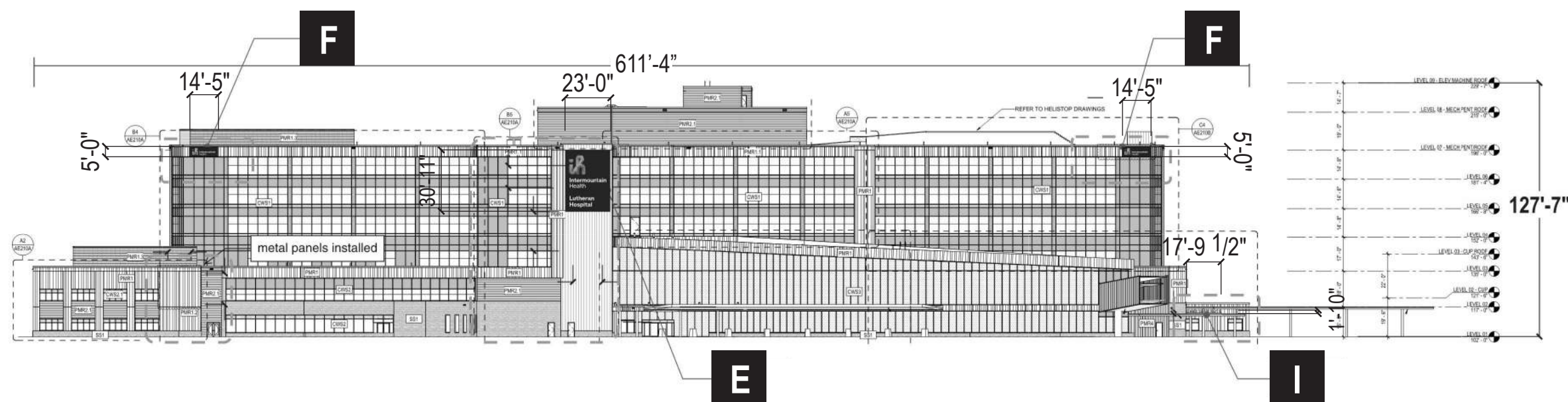
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WALL AND CANOPY SIGN LOCATION MAP

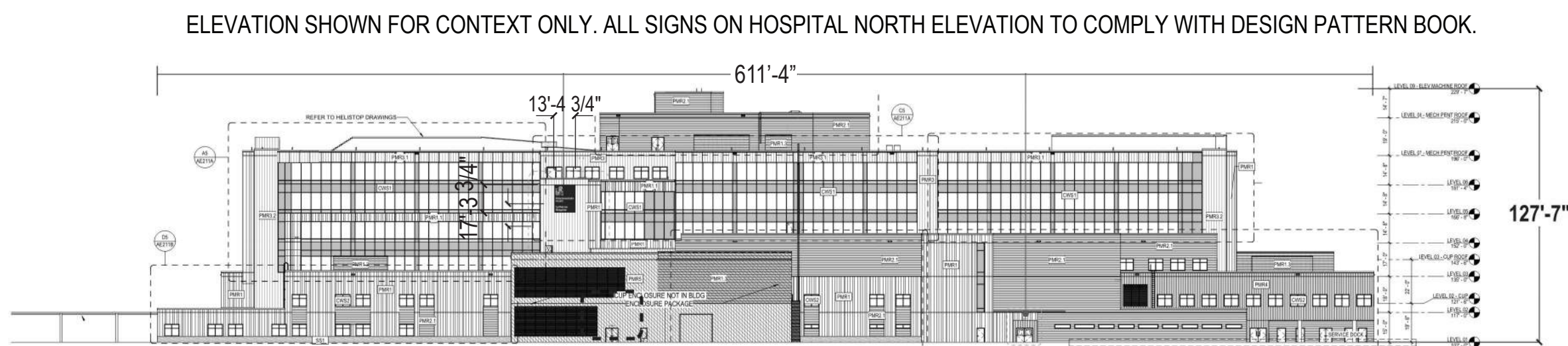
MASTER SIGN PLAN
PAGE 4 OF 6

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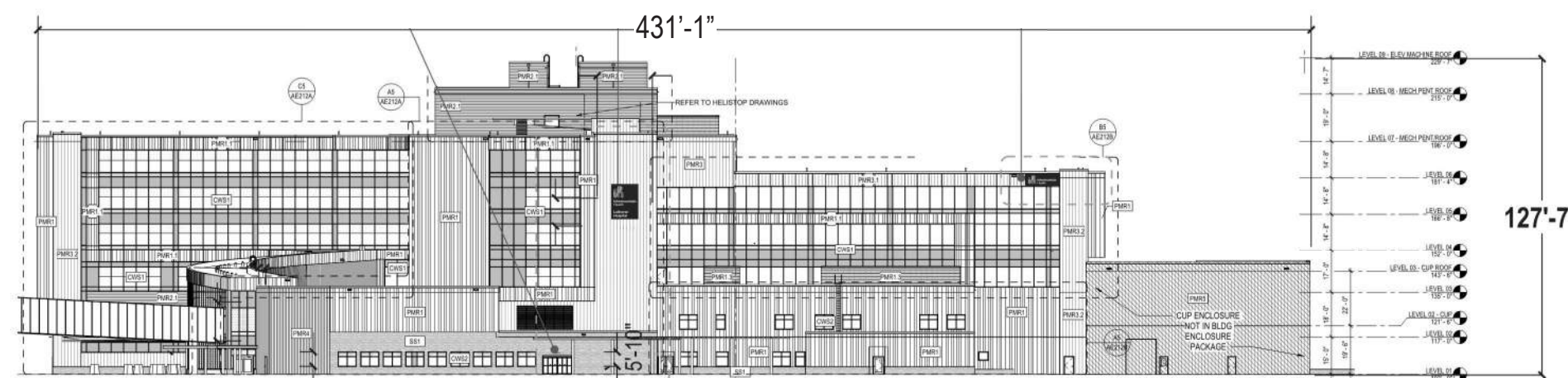


C1 HOSPITAL EXTERIOR ELEVATIONS - SOUTH
SCALE: 1/64" = 1'



B1 HOSPITAL EXTERIOR ELEVATIONS - NORTH
SCALE: 1/64" = 1'

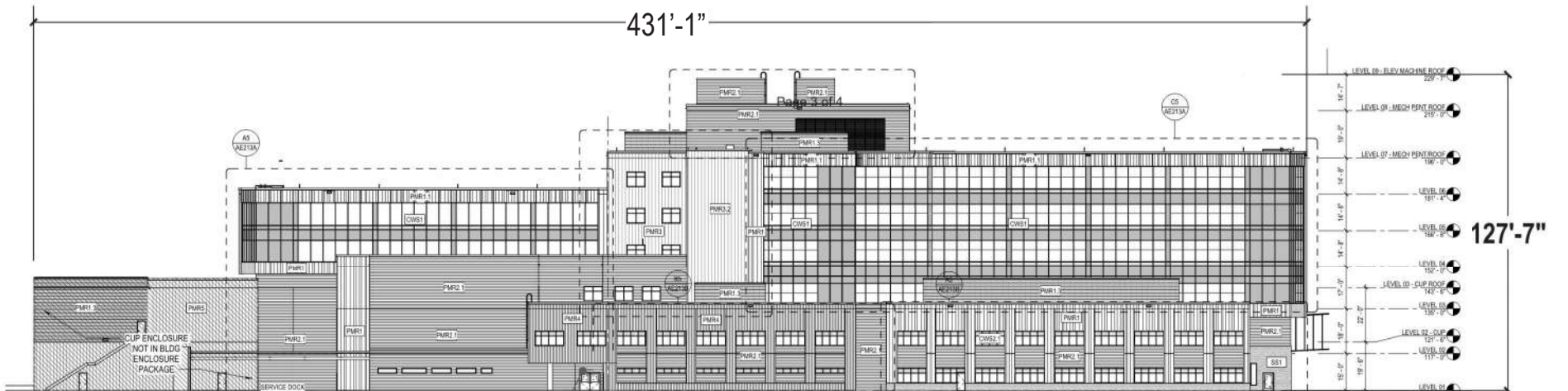
ELEVATION SHOWN FOR CONTEXT ONLY. ALL SIGNS ON HOSPITAL EAST ELEVATION TO COMPLY WITH DESIGN PATTERN BOOK.



OVERALL ELEVATION - EAST Scale: 1/64"=1'-0"

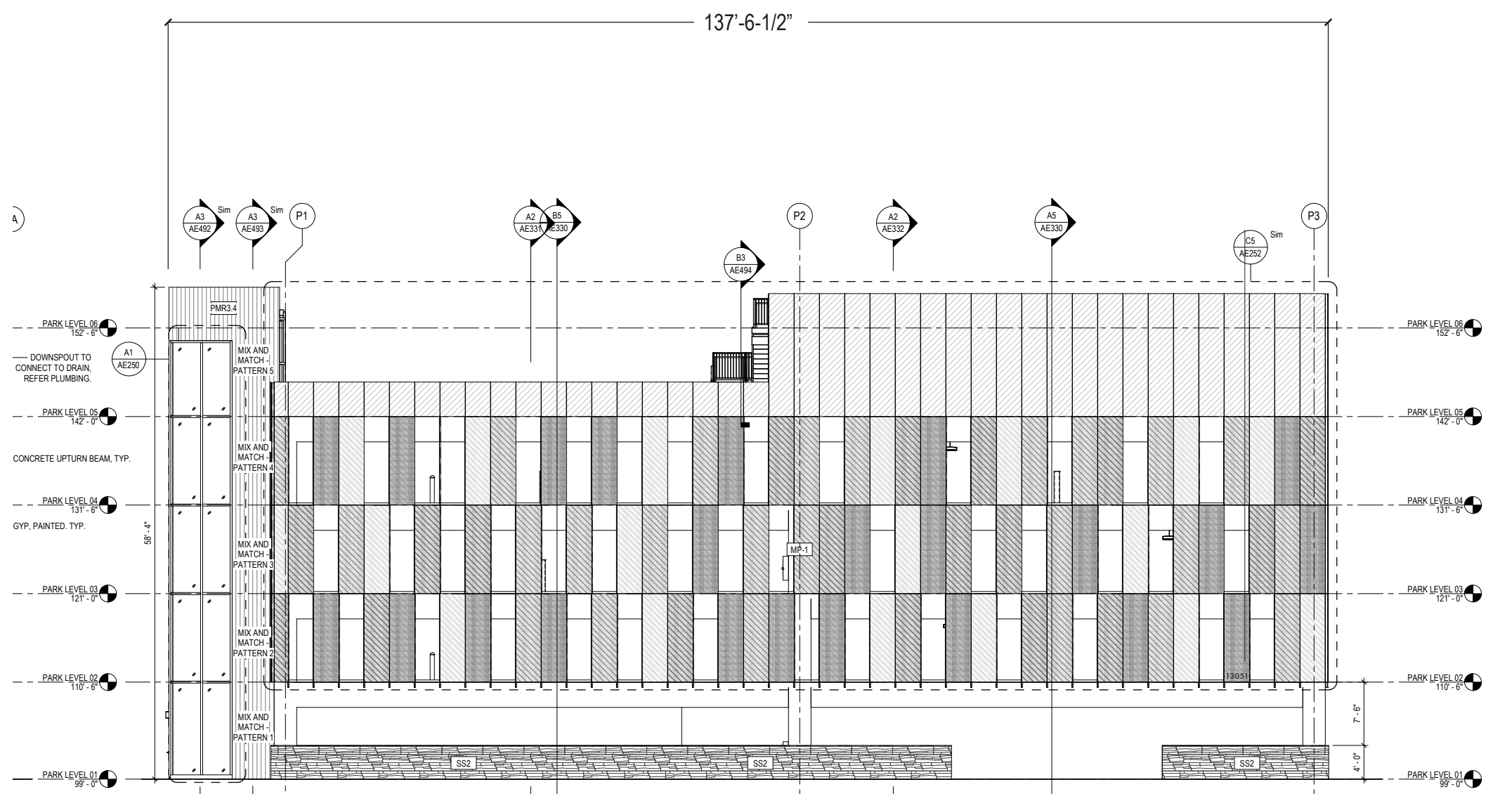
C5 HOSPITAL EXTERIOR ELEVATIONS - EAST
SCALE: 1/64" = 1'

ELEVATION SHOWN FOR CONTEXT ONLY. ALL SIGNS ON HOSPITAL WEST ELEVATION TO COMPLY WITH DESIGN PATTERN BOOK.

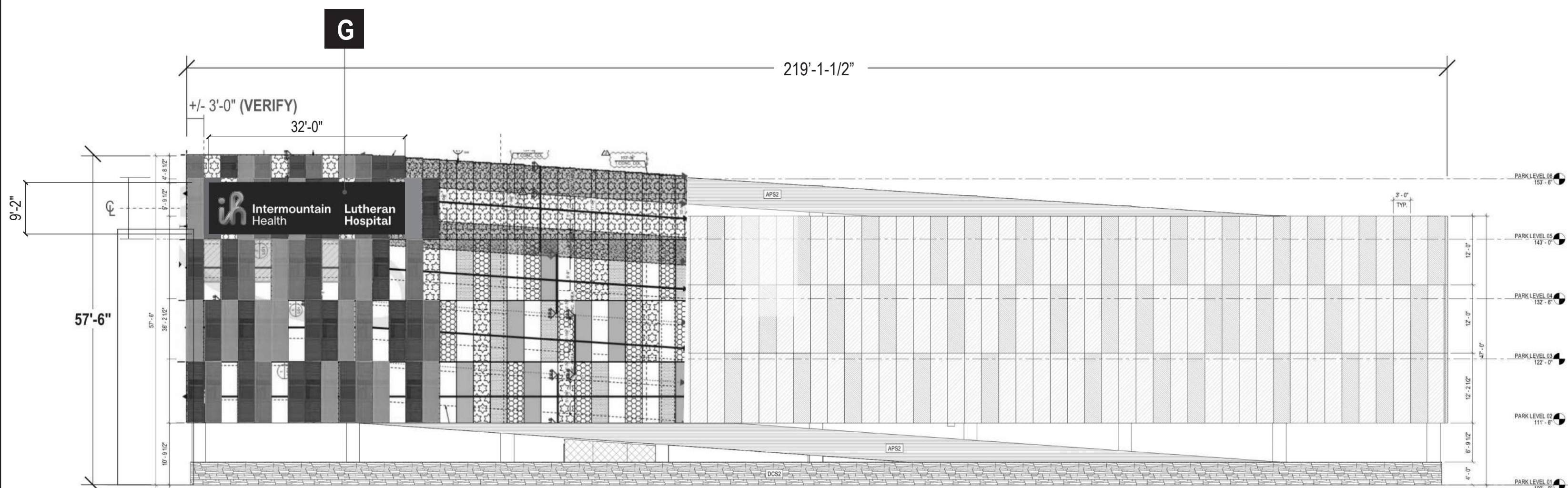


B5 HOSPITAL EXTERIOR ELEVATIONS - WEST
SCALE: 1/64" = 1'

ELEVATION SHOWN FOR CONTEXT ONLY. NO WALL SIGNS PROPOSED ON GARAGE SOUTH ELEVATION.



A5 PARKING GARAGE EXTERIOR ELEVATIONS - SOUTH
SCALE: 1/64" = 1'



A1 PARKING GARAGE EXTERIOR ELEVATIONS - GARAGE EAST
SCALE: 1/16" = 1'

- NOTES:
1. FOR THE PURPOSES OF ILLUSTRATION, THIS MASTER SIGN PLAN SHOWS SPECIFIC SIGN COPY AND DIMENSIONS. SIGN COPY MAY BE CHANGED SO LONG AS ALL FUTURE SIGNAGE COMPLIES WITH APPLICABLE STANDARDS SET FORTH IN THIS DOCUMENT PERTAINING TO NUMBER, SIZE, HEIGHT, AND SETBACKS; THE CLEAR CREEK CROSSING DESIGN PATTERN BOOK, AND CHAPTER 6, ARTICLE VII OF THE WHEAT RIDGE SIGN CODE.
 2. FOR THE PURPOSES OF ILLUSTRATION, THIS MASTER SIGN PLAN SHOWS SPECIFIC SIGN LOCATIONS. SIGN LOCATIONS MAY BE ADJUSTED SO LONG AS ALL FUTURE SIGNAGE COMPLIES WITH APPLICABLE STANDARDS SET FORTH IN THIS DOCUMENT AND THE CLEAR CREEK CROSSING DESIGN PATTERN BOOK, AS APPLICABLE.
 3. SOUTH AND WEST ELEVATIONS FOR THE PARKING GARAGE HAVE BEEN EXCLUDED BECAUSE THERE ARE NO WALL SIGNS PROPOSED OR PERMITTED ON THE GARAGE SOUTH AND WEST ELEVATIONS.

PREPARED FOR:



PEAKS REGION
500 ELDORADO BLVD., SUITE 4300
BROOMFIELD, CO 80021
CONTACT: BRUCE FONG

PREPARED BY:



HOSPITAL ARCHITECT:
1670 BROADWAY, SUITE 3400
DENVER, CO 80202
CONTACT: ANDREW SCHWABE

MOB ARCHITECT:

DAVIS PARTNERSHIP ARCHITECTS
2901 BLAKE ST., SUITE 100
DENVER, CO 80205
CONTACT: ANN H. ADAMS

CIVIL AND STRUCTURAL ENGINEER:
MARTIN/MARTIN CONSULTING ENGINEERS
12499 WEST COLFAX AVE.
LAKEWOOD, CO 80215
CONTACT: NICOLE KONTOUR

MECHANICAL, ELECTRICAL,
PLUMBING ENGINEER:
CATOR, RUMA, & ASSOC.
896 TABOR ST.
LAKEWOOD, CO 80401
CONTACT: CRAIG PERRY

BUILDING ELEVATIONS

MASTER SIGN PLAN
PAGE 5 OF 6

INTERMOUNTAIN HEALTH LUTHERAN MEDICAL CENTER AT CLEAR CREEK CROSSING

A SPECIFIC MASTER SIGN PLAN IN THE CITY OF WHEAT RIDGE, CO
BLOCK 1, LOT 1, SCL HEALTH LUTHERAN MEDICAL CENTER AT CLEAR CREEK CROSSING
SITUATED IN SECTIONS 19, 20, 29, & 30, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF WHEAT RIDGE, COUNTY OF JEFFERSON, STATE OF COLORADO

PREPARED FOR:



PEAKS REGION
500 ELDORADO BLVD., SUITE 4300
BROOMFIELD, CO 80021
CONTACT: BRUCE FONG

PREPARED BY:



HOSPITAL ARCHITECT:
1670 BROADWAY, SUITE 3400
DENVER, CO 80202
CONTACT: ANDREW SCHWABE

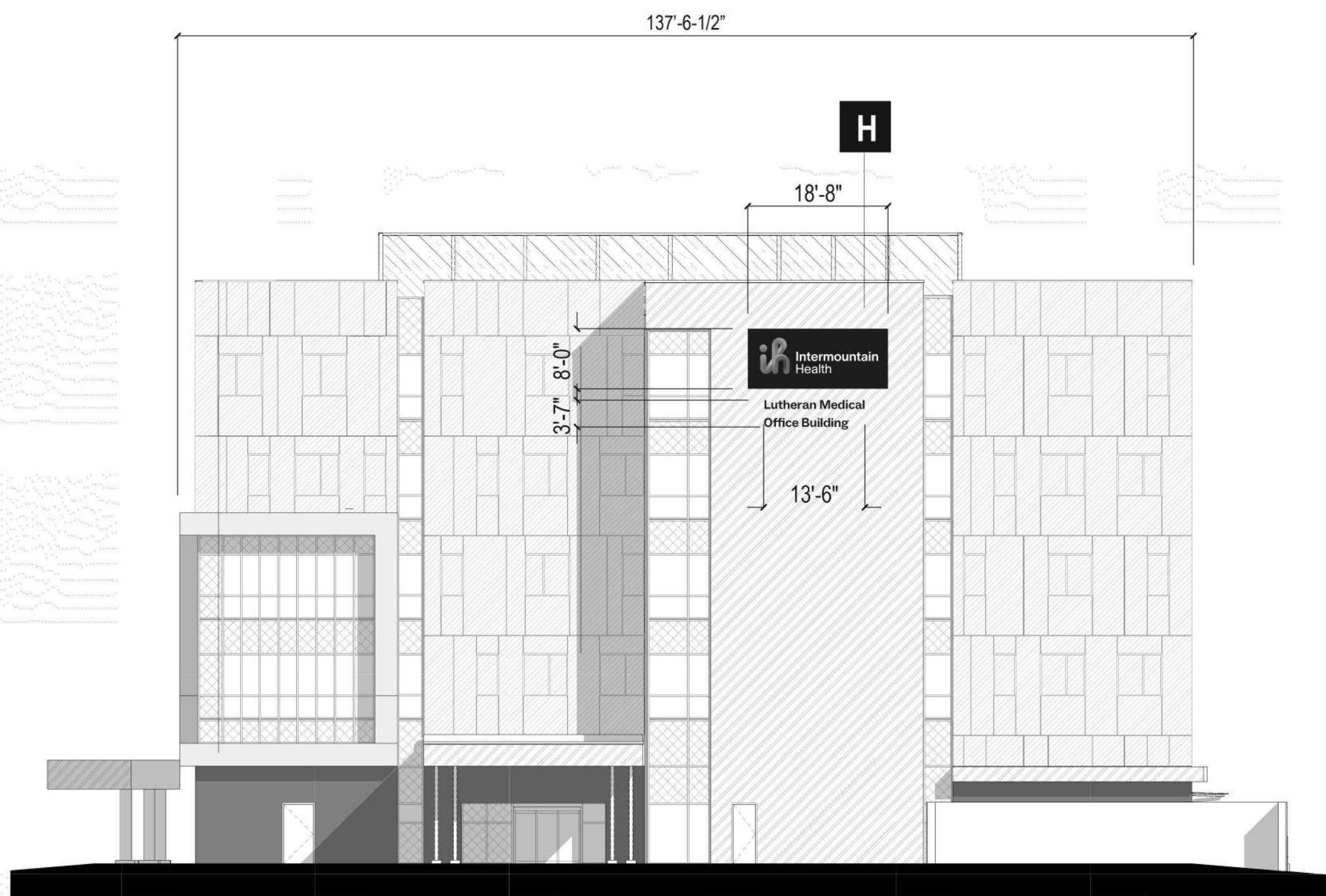
MOB ARCHITECT:
DAVIS PARTNERSHIP ARCHITECTS
2901 BLAKE ST., SUITE 100
DENVER, CO 80205
CONTACT: ANN H. ADAMS

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MARTIN/MARTIN CONSULTING ENGINEERS
12499 WEST COLFAX AVE.
LAKEWOOD, CO 80215
CONTACT: NICOLE KONTOUR

MECHANICAL, ELECTRICAL,
PLUMBING ENGINEER:
CATOR, RUMA, & ASSOC.
896 TABOR ST.
LAKEWOOD, CO 80401
CONTACT: CRAIG PERRY

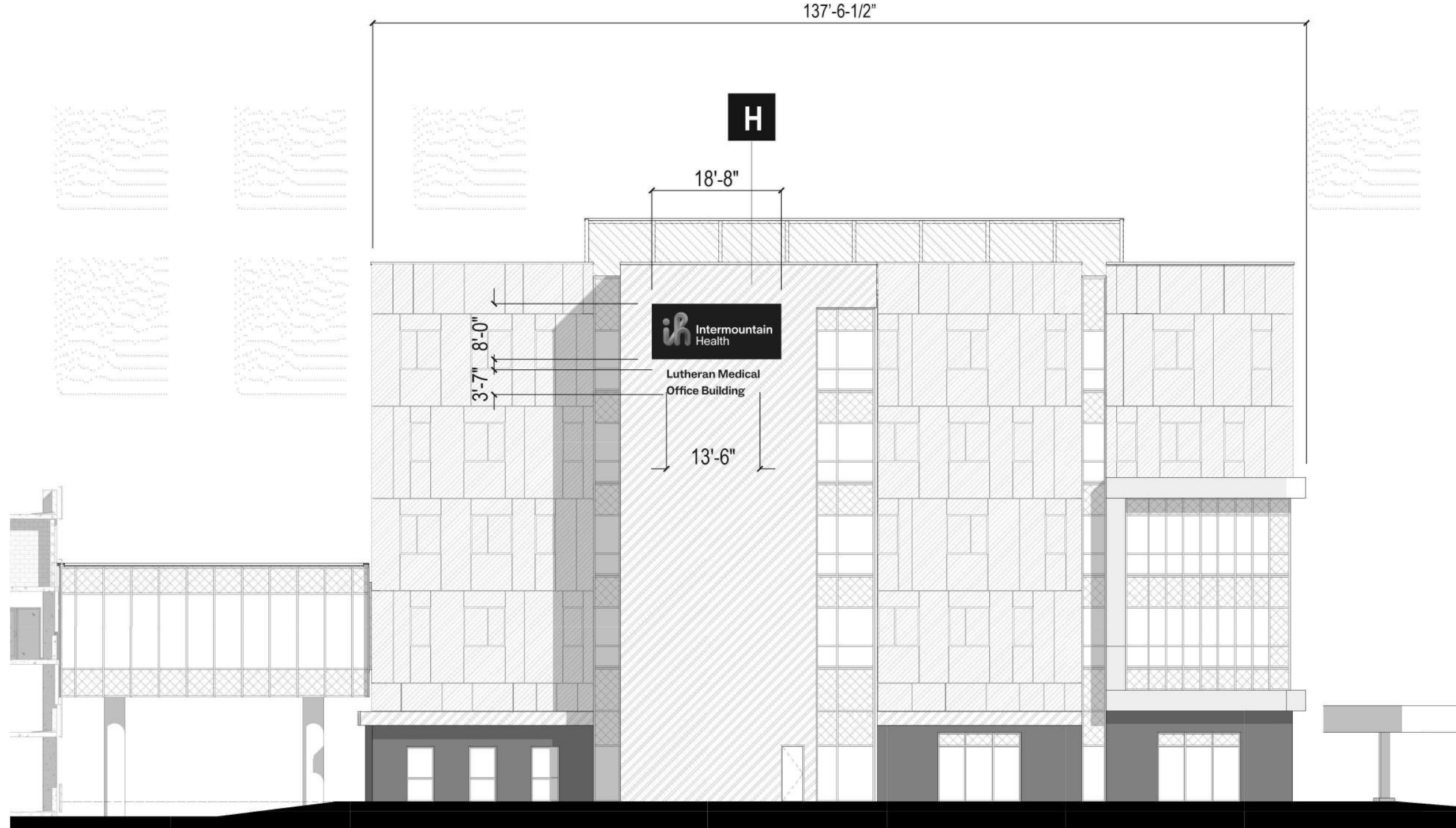
BUILDING ELEVATIONS

MASTER SIGN PLAN
PAGE 6 OF 6



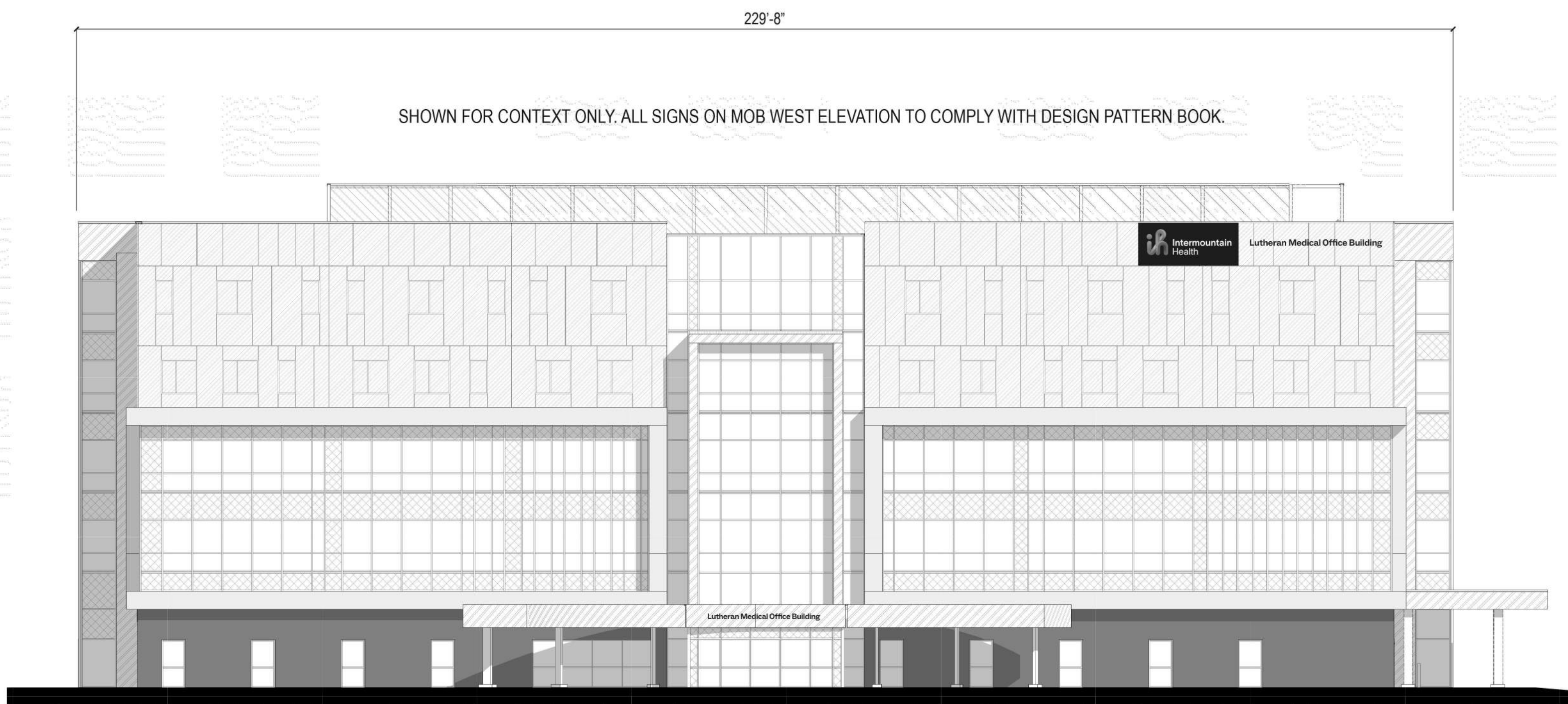
C1

MOB EXTERIOR ELEVATIONS - SOUTH
SCALE: 1/16" = 1'



C3

MOB EXTERIOR ELEVATIONS - NORTH
SCALE: 1/16" = 1'



A1

MOB - EXTERIOR ELEVATIONS - WEST
SCALE: 1/16" = 1'

NOTES:

1. FOR THE PURPOSES OF ILLUSTRATION, THIS MASTER SIGN PLAN SHOWS SPECIFIC SIGN COPY AND DIMENSIONS. SIGN COPY MAY BE CHANGED SO LONG AS ALL FUTURE SIGNAGE COMPLIES WITH APPLICABLE STANDARDS SET FORTH IN THIS DOCUMENT PERTAINING TO NUMBER, SIZE, HEIGHT, AND SETBACKS; THE CLEAR CREEK CROSSING DESIGN PATTERN BOOK, AND CHAPTER 6, ARTICLE VII OF THE WHEAT RIDGE SIGN CODE.
2. FOR THE PURPOSES OF ILLUSTRATION, THIS MASTER SIGN PLAN SHOWS SPECIFIC SIGN LOCATIONS. SIGN LOCATIONS MAY BE ADJUSTED SO LONG AS ALL FUTURE SIGNAGE COMPLIES WITH APPLICABLE STANDARDS SET FORTH IN THIS DOCUMENT AND THE CLEAR CREEK CROSSING DESIGN PATTERN BOOK, AS APPLICABLE.
3. EAST ELEVATION OF MOB HAS BEEN EXCLUDED BECAUSE THERE ARE NO PROPOSED OR PERMITTED WALL SIGNS ON THIS ELEVATION.

EXHIBIT 5: APPLICANT LETTER OF REQUEST



23 February 2024

City of Wheat Ridge Planning Department
Stephanie Stevens, AICP
Senior Planner
sstevens@ci.wheatridge.co.us

Master Sign Plan Resubmittal for Intermountain Health (previously SCL Health), Lutheran Replacement Hospital @ Clear Creek Crossing

The attached Master Sign Plan is being submitted for the Lutheran Replacement Hospital located on the Clear Creek Crossing (CCC) development. The package includes Exterior Building Mounting Signage, MOB signage, and Interior Site Wayfinding signage. Signage that complies with the Clear Creek Crossing Design Pattern Book has been excluded from the master sign plan. Deviations to the Design Pattern Book that are being requested include:

1. An allowance for wall signs exceeding code limits on size on the hospital south elevation, parking garage east elevation, and MOB north and south elevations; and
2. To balance the request for larger wall signs on the above-mentioned elevations, we are proposing to limit/prohibit wall signs on the parking garage north, south, and west elevation; and MOB east elevation.
3. An allowance for freestanding monument signs exceeding code limits on size and number.

Monument signs along 40th and Clear Creek Drive are fully aligned with the Design Pattern Book and are excluded from the master sign plan.

The Exterior Building Signage and Interior Site Wayfinding designations needed for a hospital are different than that of a retail center, so layout and function are specifically designed to meet the needs of this medical campus while at the same time ensuring that the size, color, placement and lighting have been fully integrated into the design. Wall signs are being increased since this is a hospital (Level 1 Trauma) to ensure visibility from the main public access points leading to the facility. These main public access points include 40th avenue and Hwy 58 which are located some distance away from the building. Based on the attention to detail for integrating wall signs into the design we ask that the planning commission to grant additional square footage per the allowances granted under Section 26-708.D of City Code.

It should also be noted that since this is a healthcare campus with multiple access points to the emergency entrance, main entrance, parking garage, valet, MOB, surface parking, etc. particular attention has been given to the many internal wayfinding signs included in the master sign package which are necessary to help direct the public once they have entered to easily navigate the campus.

If you have any questions about the attached Master Sign Plan package, please let me know.

Sincerely,

Andy Schwabe
Senior Project Manager
303.807.9047

hdrinc.com 1670 Broadway, Suite 3400, Denver, CO 80202-4824
(303) 764-1520

EXHIBIT 6: ACC APPROVAL LETTER

Clear Creek Crossing

Architectural Control Committee

January 25, 2024

Stephanie Stevens, AICP
Senior Planner, Community Development Department
City of Wheat Ridge
7500 W. 29th Avenue
Wheat Ridge, CO 80033
sstevens@ci.wheatridge.co.us

Dear Ms. Stevens:

As Representative of the Clear Creek Crossing Architectural Control Committee, the committee has reviewed the 3rd submittal regarding Case No. WZ-23-04 sign submittal. The applicant, Intermountain Health, shared the design with the Committee and there are no objections. The architecture met the guidance of both the Clear Creek Crossing ODP as well as the Design Pattern Book. I recommend approval of the sign plan as presented in the Final submittal.

Sincerely,



Derek Lis
Clear Creek Crossing Architectural Control Committee Representative

MEETING DATE: March 21, 2024

**TITLE: AN ORDINANCE AMENDING SECTION 26-109 OF THE WHEAT RIDGE
CODE OF LAWS CONCERNING PUBLIC HEARING LETTER NOTICE**

CASE NO. ZOA-24-03

☒ PUBLIC HEARING

☒ CODE CHANGE ORDINANCE

Case Manager: Jana Easley

Date of Preparation: March 4, 2024

SUMMARY:

Prior to a public hearing for a quasi-judicial application, the zoning code requires that notice of the hearing be sent by letter to owners and occupants within 600 feet of the subject property. City Council recently discussed the requirements and practice associated with letter notice and directed staff to increase this radius to 1000 feet.

Notice for this public hearing was provided pursuant to the Code of Laws.

BACKGROUND:

For several years, City Council and staff have prioritized improvements in public information and engagement. This has included several changes related to public notice associated with private development and quasi-judicial hearings. Changes in practice and in code are summarized below. These changes have improved the City's ability to inform and engage the public by providing more options and by better aligning with best practice.

Code Updates

Public notice is a critical legal requirement for a variety of development-related applications. Notice requirements for public hearings are detailed in Charter Section 5.10 and Code Section 26-109 which stipulate four types of notice for public hearings: sign notice, letter notice, publication in a newspaper, and publication on the City's website.

Letter notice has been expanded in two ways through recent code amendments:

- Letter notice for public hearings was expanded from 300 to 600 feet in October 2020. This was discussed at length in a study session in August 2020. See *Exhibit 2, Staff Memo from August 3, 2020*. At that time, the mailing radii for similar notice forms in other communities was reviewed and ranged from 200 to 1000 feet. A 600-foot distance was determined to be appropriate in part because it extends approximately two blocks in width. The change from 300 to 600 feet also aligned the distance for public hearing notice with the distance used for neighborhood meetings which was historically 600 feet.

- Letter notice was expanded to include owners *and* occupants in November 2021. This topic was discussed in a study session in August 2021, at which time the Council acknowledged a stakeholder's right to information regardless of their status as an owner or renter. This practice is rare among peer communities but an increasingly best practice.
- When the review process for subdivisions was modified in September 2023, letter notice was added as a code requirement such that letters are sent to property owners and occupants within 600 feet of a subdivision which is two (2) acres or greater in size. This notice provides information on the zoning, permitted uses, subdivision approval, and the status of potential development resulting from subdivision.

Sign notice was improved and expanded in October 2020 as well:

- Public hearing posting signs were increased from one per street frontage to instead be based on the length of the property frontage and based on the parcel configuration. Applications comprised of multiple parcels or subject properties wider than 200 feet have at least two signs per street frontage. Larger properties require one sign per 400 feet of street frontage.
- Posting signs were also redesigned in late 2020 to reduce clutter, provide key information more clearly, and to include a QR code for more information.

New Practices

In addition to codified changes, the City has instituted several tools that improve public engagement options and provide information more readily:

- Wheat Ridge Speaks was adopted in November 2019. The platform was originally discussed in a study session in October 2019 at which Council and staff agreed with the need to provide more inclusive public hearings. Wheat Ridge Speaks does not replace the public hearing but augments the public's ability to participate by providing a convenient, online location for reviewing meeting agenda packets and submitting comments. The platform was originally adopted only for development-related cases but was adopted for the full Council agenda in March 2020 because of the COVID-19 pandemic. The site has over 2,000 users annually with a peak of 6,686 users in 2022.
- Zoom technology was implemented for public hearings in March 2020 due to the COVID-19 pandemic. It was decisively retained after the pandemic to enable a hybrid meeting format. Zoom allows the public to join meetings remotely online or by phone to provide public comment. This provides the public with an alternative to attending in person and having to wait until the agenda item of interest to them.
- An interactive [online development map](#) was recently launched on November 1, 2023 allowing the public to look up and learn about private development in various stages: under review, pending hearing, approved, and under construction. Dubbed the "Projects & Property Map," the online map allows residents to look up key details of mid- to large-size projects and find more information either online or through staff contact. Delayed by the 2022 cyber security incident, the recent launch of the map responds to a Council strategic priority and to the public's desire for more self-serve information.

Recent Policy Direction

In a November 20, 2023 study session, City Council discussed these public notice requirements and procedures. Council requested the discussion based on a specific zone change processed near

44th and Wadsworth which raised concerns about the radius for mailed letter notice. Several options were presented in the staff memo and discussed in the meeting.

Ultimately, Council provided the following direction:

- Expand the letter notice from 600 feet to 1000 feet for neighborhood meetings and public hearings.
- Share the mailing cost of letter notice with applicants.
- Revisit mailing language to ensure that it clearly communicates not only the specific request but also any other relevant information that helps the public to understand the context and development potential.

PROPOSED ORDINANCE:

The noticing requirements associated with public hearings are contained within Section 26-109 of the Code of Laws. The attached ordinance amends the letter notice from 600 to 1000 feet for neighborhood meetings and public hearings. This would mean increased notice for the following types of meetings and applications:

Neighborhood meetings:

- Special Use Permit
- Zone Change
- Concept Plan (for sites 10 acres or larger)
- Outline Development Plan

Public hearings:

- Special Use Permit
- Zone Change
- Outline Development Plan
- Specific Development Plan
- Type II Subdivision
- Planning Building Group
- Master Sign Plan
- Right-of-Way Vacations
- Historical Designation

The November 2023 Council discussion focused on case types reviewed by the Planning Commission and City Council. In preparing the ordinance, staff discussed applications heard before the Board of Adjustment. These include variance requests and temporary use permits. The nature of these applications is significantly more localized in nature. Therefore, the draft ordinance (*see Exhibit 1, Proposed Ordinance*) proposes retaining the existing mailing radius of 600 feet which coincides with a distance of one to two blocks.

RECOMMENDED MOTION:

“I move to recommend approval of the proposed ordinance amending Section 26-109 of the Wheat Ridge Code of Laws concerning public hearing letter notice.”

Exhibits:

1. Proposed Ordinance
2. Staff Memo from August 3, 2020, City Council Study Session

EXHIBIT 1: PROPOSED ORDINANCE

CITY OF WHEAT RIDGE, COLORADO
INTRODUCED BY COUNCIL MEMBER _____
COUNCIL BILL NO. _____
ORDINANCE NO. _____
Series 2024

TITLE: AN ORDINANCE AMENDING SECTION 26-109 OF THE WHEAT RIDGE CODE OF LAWS CONCERNING PUBLIC HEARING LETTER NOTICE

WHEREAS, the City of Wheat Ridge is a home rule municipality having all powers conferred by Article XX of the Colorado Constitution; and

WHEREAS, pursuant to its home rule authority and C.R.S. § 31-23-101, the City, acting through its City Council (the "Council"), is authorized to adopt ordinances for the protection of the public health, safety, or welfare; and

WHEREAS, in the exercise of that authority, the City Council of the City of Wheat Ridge has previously enacted Chapter 26 of the Wheat Ridge Code of Laws (the "Code") pertaining to zoning, land use, and development; and

WHEREAS, the Council recognizes that from time to time the City's zoning code needs to be updated; and

WHEREAS, the Council finds that expanded letter notice for public hearings is necessary and appropriate.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WHEAT RIDGE, COLORADO:

Section 1. Subsection 26-109.A.1 of the Wheat Ridge Code of Laws, concerning letter notice for neighborhood meetings is amended as follows:

- A. *Pre-application neighborhood meeting.* Prior to submitting any application, for approval which requires a neighborhood meeting under the provisions of section 26-106, Review process chart, an applicant shall be required to do the following:
1. Applicant shall, by first class mail or by pamphlet or flyer personally delivered, notify all property owners and occupants within ~~six hundred (600)~~ **one thousand (1,000)** feet of the area subject to the land use application of a meeting to be held, at a time and place selected by the applicant but reasonably convenient both to the applicant and those property owners and occupants notified, for the purpose of allowing the applicant to present to said parties the nature, character and extent of the action requested by the applicant, and further to allow said parties to give input to the applicant regarding said proposal.

Section 2. Section 26-109.D of the Wheat Ridge Code of Laws, concerning letter notice for public hearings is amended as follows:

D. *Letter notice.* At least fifteen (15) days prior to any public hearing which requires notification by letter, the director of community development shall cause to be sent, by first class mail, a letter to adjacent property owners and occupants within ~~six hundred (600)~~ **one thousand (1,000)** feet of the property under consideration and to property owners and occupants of property included within the area under consideration. **As an exception, the mailing radius for applications heard before the board of adjustment per section 26-115 shall be six hundred (600) feet.**

The letters shall specify the kind of action requested; the hearing authority; the time, date and location of hearing; and the location of the parcel under consideration by address or approximate address. Failure of a property owner or occupant to receive a mailed notice will not necessitate the delay of a hearing by the hearing authority and shall not be regarded as constituting inadequate notice.

Section 3. Fee Schedule. The 2024 fee schedule shall be updated to share the cost of the mailing between the City and the applicant.

Section 4. Severability, Conflicting Ordinances Repealed. If any section, subsection or clause of this Ordinance shall be deemed to be unconstitutional or otherwise invalid, the validity of the remaining sections, subsections and clauses shall not be affected thereby. All other ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

Section 5. Effective Date. This Ordinance shall take effect fifteen (15) days after final publication, as provided by Section 5.11 of the Charter. All mailings on and after the effective date shall comply with the updated mailing radius.

INTRODUCED, READ, AND ADOPTED on first reading by a vote of ____ to ____ on this ____ day of _____, 2024, ordered published by title and in full on the City's website as provided by the Home Rule Charter, and Public Hearing and consideration on final passage set for _____, 2024, at 6:30 p.m., as a virtual meeting and in the Council Chambers, 7500 West 29th Avenue, Wheat Ridge, Colorado.

READ, ADOPTED AND ORDERED PUBLISHED on second and final reading by a vote of ____ to ____, this ____ day of _____, 2024.

SIGNED by the Mayor on this ____ day of _____, 2024.

Bud Starker, Mayor

ATTEST:

Stephen Kirkpatrick, City Clerk

Approved as to Form

Gerald E. Dahl, City Attorney

First Publication:
Second Publication:
Jeffco Transcript
Effective Date:


Published:
Jeffco Transcript and www.ci.wheatridge.co.us



EXHIBIT 2: STAFF MEMO FROM AUGUST 3, 2020, CITY COUNCIL STUDY SESSION

Memorandum

TO: City Council and Mayor

THROUGH: Patrick Goff, City Manager 

FROM: Ken Johnstone, Community Development Director
Lauren Mikulak, Planning Manager

DATE: July 20, 2020 (for August 3, 2020 study session)

SUBJECT: Legal Notice for Public Hearings for Planning and Development Items

PURPOSE

Public notice is a critical legal requirement for a variety of zoning and subdivision cases. The City's Charter and Code of Laws establish legal notice requirements not only for the purpose of informing the public on proposed developments, but also to protect the due process rights of stakeholders. The extent of notice generally corresponds to the level of review and impact with the highest level of notice required for those applications which require public hearings.

In April 2020, members of Council requested that staff prepare a study session item that addresses a few targeted issues related to public notice. Specifically, these issues relate to the sign and letter notice associated with public hearings. This memo is organized as follows:

- Current Notice Requirement for Public Hearings
- Analysis of Sign and Letter Notice Procedures
- Future Opportunities

BACKGROUND

Current Notice Requirements for Public Hearings

Notice requirements for public hearings are described in Charter Section 5.10 and Code Section 26-109. The Charter requirements are specific to zone changes, and the code section applies to all quasi-judicial public hearings associated with planning and development items. This includes a variety of case types before a variety of deciding bodies:

Type of Request	Public Hearing Body		
	City Council	Planning Commission	Board of Adjustment
Zone change	D	R	
Special use permit	D		
Major subdivision	D	R	
Minor subdivision		D	
Specific development plan		D	
Planned Building Group		D	
Master Sign Plan		D	
Variance			D

R = Recommend to Council

D = Decide upon request

In combination, Charter Section 5.10 and Code Section 26-109 stipulate four types of notice for public hearings related to zoning and subdivision and prescribes the duration and content of notice. The Code sections have been minimally changed in recent years. The last substantive change to 26-109 was in 2014 to increase the number of days for posted and letter notice from 10 days to 15 days.

Sign Notice (Sec. 26-109.C and Charter 5.10)

- Posted for 15 consecutive days (includes the day of the posting and the day of the hearing)
- One sign per street frontage
- Required to be within property boundaries
- Must be visible from street, legible, and maintained in good condition
- Minimum size is 22" x 28" posted at a height of 30" to 72"
- Sign must include: the request; reviewing body; time, date and location of hearing; and the location/address of the subject property (for zone changes only, the Charter also requires this statement: "specific plans for the proposed changes are available for inspection at the Wheat Ridge City Hall")

Letter Notice (Sec. 26-109.D)

- Sent 15 days before the hearing by first class mail
- Sent to property owners within 300 feet of the boundary of the subject property
- Letter must include: the request; reviewing body; time, date and location of hearing; and the location/address of the subject property

Newspaper Notice (Sec. 26-109.B and Charter 5.10)

- Published at least 15 days before a zone change hearing and at least 10 days before other hearing types
- Published in a newspaper of general circulation
- The Clerk's Office typically publishes in the Wheat Ridge Transcript (now Jeffco Transcript) for which the publishing deadlines are several days before distribution; publications are occasionally printed in the Denver Post
- Newspaper notice must include: the request; reviewing body; time, date and location of hearing; and the location/address of the subject property (for zone changes only, the Charter requires the legal description in the newspaper and also requires this statement: "specific plans for the proposed changes are available for inspection at the Wheat Ridge City Hall")

Web Notice (Sec. 26-109.B)

- Published at least 10 days before the hearing
- Located on the City's Legal Notices page on the website
- Web must include: the request; reviewing body; time, date and location of hearing; the location/address of the subject property; and the legal description

No single method of notice can capture all possible audiences and there are strengths and weaknesses to each type of notice. In addition to these codified requirements, the public can find information on upcoming hearings on the City's online calendar, on the Wheat Ridge Speaks site, and on the public notice posting board at City Hall (formerly in the lobby and now outside the front door).

Analysis of Sign and Letter Notice Procedures

The specific discussion items requested for this study session relate to the size of posting signs, the location of posting signs, and the distance of letter notification. Staff has analyzed the City's requirements and practice, other community requirements and practice, and specific examples in Wheat Ridge.

Size of Sign

As noted above the minimum size for a posting sign is 22 x 28. Most communities do not codify a minimum size, but Wheat Ridge size requirements appear to be similar to the signs of other communities.

The purpose of posted notice is to capture the attention of passing pedestrian or vehicular traffic, so the critical design feature of posting signs may be less about the size and more about the overall design: Does it catch your attention? Is it legible? Does it clearly communicate the message?

An image of a recent sign posting is shown in Attachment 1. The City's posting signs have not changed in design in at least two decades. While the yellow and red may be visible, the sign content is cluttered and could be improved.

Staff does not recommend any change to the code as it pertains to the size of sign, but does recommend a redesign of posting signs to better achieve the purpose of posted notice.

Location of Sign

As noted above, posting signs must be located within the subject property boundaries and must have at least one sign per street frontage. These requirements are common in other jurisdictions as well.

Staff does not recommend that signs be located off-premise to avoid confusion about the location of the subject property. Likewise, staff does not recommend that all individual lots within a subject property contain a sign as this too could create confusion about the scope of a change being requested in a given land use application.

The goal of the sign location requirements is to maximize the opportunity for affected people to see the sign and become aware of the proposal. Generally, this means that the sign(s) are highly visible to people traveling near the subject property. However, with such a wide range of site sizes and configurations, affected people see mixed results in achieving this goal.

Staff is recommending that the number of posting signs be required based on the length of the property frontage. This approach is employed in some jurisdictions and would be appropriate for a target audience of passerby traffic. Under this approach, the code could be amended to require:

- A minimum of one sign per street frontage,
- At least two signs for properties with frontage length of 200-400 feet, and
- One sign per 400 lineal feet for properties with longer street frontages.

The images in Attachment 2 provide examples of how this would apply to several different properties in Wheat Ridge.

Distance of Letter Notification

As noted above, letter notice is sent to the owners of property within 300 feet of the boundary of the subject property for public hearings. This distance is on the lower end of the spectrum as compared with other metro area communities. What's more notable, however, is how this distance compares to the letter notice for neighborhood meetings.

For two specific application types, those which deal with land use rights—zone changes and special use permits—City Code requires a neighborhood meeting. Letter notice is required to the residents *and* property owners within 600 feet of the boundary of the subject property. (This practice of reaching out to both owners and residents for neighborhood meetings is broader than other communities. While different than others and different than the notice for hearings, staff recommends maintaining this practice since Wheat Ridge has a higher rate of renters than other communities.)

Not all jurisdictions require neighborhood meetings, but for those that either require or recommend a neighborhood meeting, the letter notice distance for the meeting and the hearing are usually the same. The tables below show where Wheat Ridge ranks among other jurisdictions.

Neighborhood Meeting Letter Notice (in feet)		Public Hearing Letter Notice (in feet)	
Aurora	abutting	Aurora	abutting
Lakewood	300-500	Denver	200
Westminster	300	Commerce City	300
Arvada	400	Westminster	300
Denver	400	Wheat Ridge	300
Commerce City	500	Lakewood	300-500
Golden	500	Arvada	400
Broomfield	500	Broomfield	500
Wheat Ridge	600	Golden	500
Littleton	700	Louisville	500
Lafayette	750	Littleton	700
Englewood	1000	Lafayette	750

The table on the following page illustrates that the letter notice distance is usually aligned for neighborhood meetings and public hearings. Staff recommends that the code be modified such that the letter notice in Wheat Ridge is also the same distance for both types of meetings.

Attachment 3 shows the difference between a 300- and 600-foot mailing distance relative to three recent zone change requests in different areas of the City. Wheat Ridge is part of the Denver Metropolitan Street Grid and like much of the metro area the short end of a single block in Wheat Ridge is about 230-280 feet in width. This means that a 300-foot mailing usually reaches the properties within one block of subject property, and a 600-foot mailing reaches the properties within two blocks.

	Neighborhood Meeting Letter Notice (in feet)	Public Hearing Letter Notice (in feet)	
Aurora	abutting	abutting	same
Lakewood	300-500	300-500	same
Westminster	300	300	same
Arvada	400	400	same
Broomfield	500	500	same
Golden	500	500	same
Littleton	700	700	same
Lafayette	750	750	same
Englewood	1000	1000	same
Denver	400	200	differs by 200
Commerce City	500	300	differs by 200
Wheat Ridge	600	300	differs by 300

Future Opportunities

Aside from meeting the legal notice obligations associated with public hearings, staff recognizes there are other ways to help residents stay in the know about potential development. This will be an important discussion point with residents as part of the *Let's Talk* engagement program to implement the 2019 Neighborhood Revitalization Strategy.

Staff recommends addressing these targeted public notice changes in the short term and having feedback in the early rounds of *Let's Talk* inform a potentially broader set of changes addressing this issue more holistically. For example, improved notice could include more mailings or meetings, better information online, or notice at the outset of a development application. Information and public notice could be differentiated between notice that is seeking input versus notice that is merely informational. Procedural or code changes responsive to *Let's Talk* feedback will be presented to Council and could be good as an early implementation task.

NEXT STEPS

Staff Recommendations

In summary, staff recommends the following updates:

- Revise the design of posted signs to better communicate with passersby (administrative adjustment)
- Revise the number of posted signs required based on frontage length (code amendment by Ordinance)
- Revise the letter notice to align the distance for neighborhood meetings and public hearings (code amendment by Ordinance)

Council Direction Requested

Staff is seeking direction on the following items:

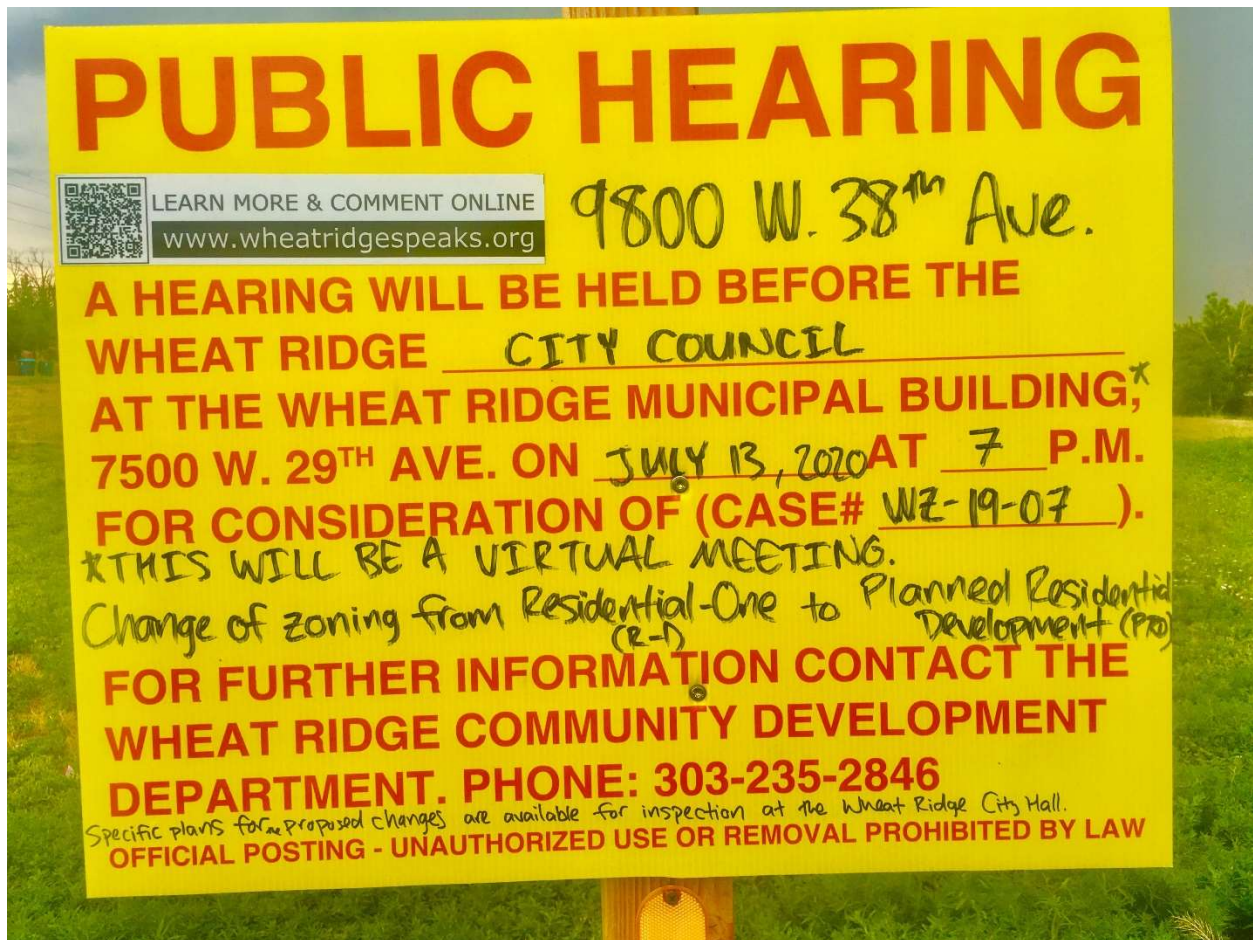
- Does Council support the updates noted above to address the public notice signs and distance requirements?
- What letter notice distance is recommended?

ATTACHMENTS:

1. Sample posting sign
2. Posting sign frontage examples
3. Mailing distance examples

ATTACHMENT 1

The image below shows a completed posting sign. Staff recommends a redesign to better communicate with passersby.



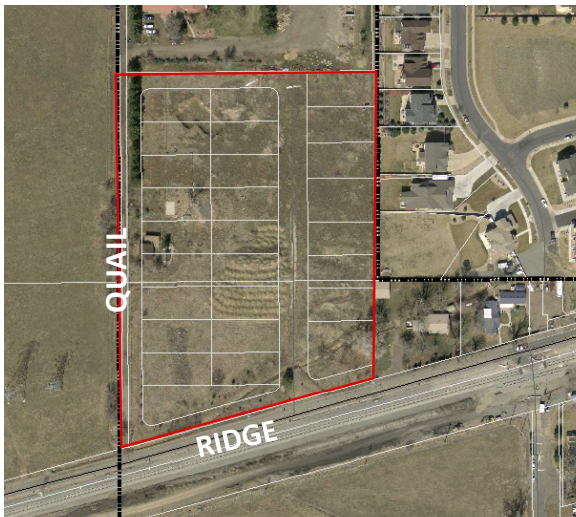
ATTACHMENT 2



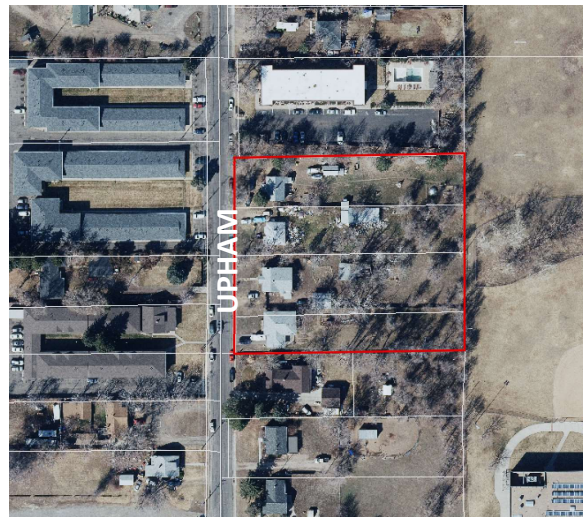
44th & Kipling – If developed in the future, a subdivision would be necessary. The parcel lines that make up the property today are irregularly spaced, so one sign per parcel would not be meaningful. If signs were required at one per 400' of frontage, there would be 3 signs on Kipling and 2 signs on 44th Ave which is more appropriate for a project of this size.



Applewood Village Shopping Center – In recent years this property had public hearings for an updated zoning document and master sign plan. Signs were posted on the three street frontages. If signs were required at one per 400' of frontage, there would have been 3 signs on W. 38th Ave, 5 signs on Youngfield, and 2 signs on W. 32nd Avenue.



Quail Ridge Subdivision – This property was originally platted in 2008 and then replatted in 2015. For the replat, a posting sign on each lot would not have been meaningful, but 2 signs on Ridge and Quail Streets would have been more effective than 1 each.



4000-4066 Upham – A single sign advertised public hearings on this property. This frontage is 260 feet and a single sign advertised public hearings. If 2 signs were required, they would better bookend the subject property and signal the full limits of the subject site.

ATTACHMENT 3

The images below show the difference between a 300-foot (left) and 600-foot (right) mailing distance relative to three recent zone change requests in different areas of the City. As part of the Denver Metropolitan Street Grid system, the short end of a single block in Wheat Ridge is about 230-300 feet in width. This means that a 300-foot mailing usually reaches the properties within one block of subject property, and a 600-foot mailing reaches the properties within two blocks.

